

AMENDED 11/1/2021

Pursuant to Government Code Section 54953(e), members of the PROS Commission and staff will participate in this meeting via a teleconference. Members of the public can submit written comments to the Board Secretary at [boardcomment@cambriacsd.org](mailto:boardcomment@cambriacsd.org).



## Parks, Recreation and Open Space Commission (PROS)

REGULAR MEETING  
Tuesday, November 2, 2021 - 10:00 AM

### AGENDA

**Please click the link below to join the webinar:**

<https://zoom.us/j/99238331673?pwd=dmVjOHhjZjdKbIRkZ2ZHMHhtUFJHZz09>

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**Webinar ID: 992 3833 1673**

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#### 1. OPENING

- A. CALL TO ORDER
- B. ESTABLISH QUORUM
- C. CHAIR REPORT
- D. COMMITTEE MEMBER COMMUNICATIONS

Any Committee Member may make an announcement, report briefly on his or her activities, or ask a question for clarification.

#### 2. EX - OFFICIO REPORTS

- A. Friends of the Fiscalini Ranch Report

#### 3. FACILITIES AND RESOURCES SUPERVISOR REPORT

**4. CONSENT AGENDA**

- A. Consideration to Approve the Minutes from the Regular Meeting  
Held on October 5, 2021

**5. REGULAR BUSINESS**

- A. Discussion and Consideration of PROS Master Plan
- B. Receive Update and Discussion and Consideration of the Skate  
Park Design ATTACHMENTS ADDED LATE

**6. FUTURE AGENDA ITEMS****7. ADJOURN**

# **Parks, Recreation and Open Space Commission**

(PROS)

REGULAR MEETING

Tuesday, October 5, 2021 - 10:00 AM

## **MINUTES**

### **1. OPENING**

#### **A. CALL TO ORDER**

Chairman Kniffen called the meeting to order at 10:00 a.m.

#### **B. ESTABLISH QUORUM**

A quorum was established.

Present – Commissioners Johansson, Atencio, Kniffen,, Renshaw,and Lord. Cooper and Bahringer were absent.

Staff Present – General Manager John Weigold, Facilities and Resources Supervisor Carlos Mendoza, Board Secretary Ossana Terterian.

#### **C. CHAIR REPORT:None**

#### **D. COMMITTEE MEMBER COMMUNICATIONS: None**

### **2. EX - OFFICIO REPORTS**

#### **A. Friends of the Fiscalini Ranch Report**

The following report was made by Director of FFRP by Kitty Connolly:

- \* FFRP Volunteers are rebuilding the fence at the North End of the Bluff Trail.
- \* Volunteers are now changing from weeding on the Ranch to maintenance and work on the Ranch trails.
- \* October 9 is a scheduled Forest Docent Walk.
- \* November 6 is a walk entitled Walking with Binoculars. See Website for information on the walks.
- \* An information post is being installed at the Entrance to the East Ranch off of Main Street near the Black Cat.

**3. PUBLIC COMMENT NOT ON THE AGENDA:** Juli Amodei glad there is a project manager. Welcomed Ray Duebzo and Reb announced a fund raiser at Funky Pottery

**4. FACILITIES AND RESOURCES MANAGER REPORT:  
The following report was made by The Facilities  
and Resources Manager Carlos Mendoza:**

\*Trail work was the focus of his report. Work was done to make these trails more passable (cutting and limbing of willow trees, cutting overgrown vegetation ) The trails now are safer to walk on. A contractor was hired to help Carlos and his Crew in the endeavor. The following trails were worked on:

Windsor trail known as the Cross Town Trail.

Santa Rosa Creek Trail.

Moonstone Beach trail. It is about 150 feet of trail.

The bridge that connects the East Ranch to Main street.

The homeless Camp is almost back to its natural state thanks to Carlos.

The trees at the dog park that were paid for with a grant and planted by FFRP are doing well and have a 90% survival rate. Two 120 gallon jugs were filled with water for the dog park and this happens every other month.

Three benches were built with found materials and painted for the dog park.

Gall Rust was removed by cutting off the limbs of the affected area on the pine trees.

Continued Storm work at the Wedgewood Entrance to the Ranch continued with the chipping of the down trees and the broadcasting of the chips along the forest floor.

Payment for the trail work comes out of the Facilities and Resources line item in the general budget.

Kitty then thanked Carlos, his Crew and CCSD for all the work that they do on the Ranch.

## **5. CONSENT AGENDA (Estimated time: 15 Minutes)**

- A. Consideration to Approve the Minutes from the Regular Meeting Held on September 7, 2021  
Commissioner Johansson moved to approve the September 7, 2021 regular meeting minutes.  
Commissioner Atencio seconded the motion.  
All approved.

## **6. REGULAR BUSINESS**

- A. Receive Update on the Cambria Skatepark:

Once again an update was received on the Cambria Skatepark. Spohn Ranch final report is due this week and will be presented to the CCSD board on October 14, 2021. They will present two different concept designs. The board will pick the one they think best fits the Community needs. The new resident project Manager for the skate park is Ray Dienzo. He will walk the project through the County and its land use requirements.

The issue then came up of when does PROS get to see the designs? A discussion of this issue ensued. The outcome was that Steve will discuss this issue with the General Manager and Cindy Steidel President of the board this week.

Under public comment for this issue, Juli Amodei reported that the Lions club will be presenting a Memorandum of Understanding to the CCSD board and Manager, It will say the Lions Club will take care of the maintenance for the skate park for Five Years. Harvey's honey hut company will also provide bathroom facilities for the skate park with hand washing facilities free of charge.

Another voice from the public, Reb, was heard. Reb wondered when and if they got to weigh in on the two designs for the skate park?

- B. Receive Update on East Ranch Restroom Project: An update of East Ranch Restroom project was then received. Monte Soto will present his report to the CCSD board on October 14th. He reported the following: He reminded PROS that the board

has picked the cheapest option. He presented a map with the very basic site plan and door plan of the restroom. He presented a detailed cost analysis with the final cost coming in at \$347,000, although he said he has overestimated the cost by 20%. His reasoning for this, is the project is not going to be built anytime soon and costs go up. Ray Dienzo will also be project manager of this project and walk it through the County regulations. Commissioner Johansson then suggested that the bathroom be turned around on the site plan with the door facing the parking lot instead of the field. He stressed safety issues. Monte said that this was possible and he is still open to some changes.

Director Farmer asked why the ending price was about 100,000 more than what they had seen at the board presentation when they chose the cheapest option. Monte's answer is that he overestimated costs by about \$60,000. I imagine this discussion will continue October 14th at the CCSD board presentation.

- C. Discuss and Consider Requesting that the CCSD Board of Directors Appoint a Member of the Skate Park Committee to Serve as an Ex Oficio Member of the PROS Commission  
Commissioner Johansson made the motion to appoint a member. Commissioner Atencio seconded the motion.

A vote was then taken to appoint a member of the Skate Park Committee to serve as an ex oficio member of the PROS Committee . It passed 3-2.

D. Discussion and Consideration of PROS Master Plan:

Another discussion about the rewriting of the PROS Master Plan was then held. Last meeting a vote was taken on this matter which read:

“I move that we hire a consultant to update the Master plan, that the consultant review subsequent documents that relate to the plan eg. Management plan and that PROS will be in the advisory position in this process.”

No change in direction was made. We want to rewrite but not the whole document.

## **7. FUTURE AGENDA ITEMS**

Chair Commissioner Kniffen asked for any future agenda items. We already have enough to work on so no future agenda items were suggested

## **8. ADJOURN**



Chair Commissioner Kniffen adjourned the meeting at  
12:50 a.m.

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*CAMBRIA'S*

**PARKS, RECREATION  
& OPEN SPACE**

*MASTER PLAN*



Prepared for the  
Cambria Community Services District

*Adopted*  
*November 21, 1994*



## **Community Services District Board of Directors**

John Angel  
Peter Chaldecott  
Patrick Child  
Helen May  
Reginald R. Perkins

## **Park, Recreation & Open Space Commission**

Richard Breen, Vice Chairman (Public Relations & Parks Committees)  
David Brown (Chair Parks Committee)  
Karen Duncan (Chair Recreation Committee)  
Woody Elliott (Chair Open Space Committee)  
Henry Kluck, Chairman (Open Space Committee)  
Lynda Olsen-Adelson (Chair Public Relations Committee)  
Hank Zebley (Recreation Committee)

## **Cambria Community Service District Staff**

David Andres, General Manager CCSD  
Jeanette Di Leo, Coordinator

Adopted by the CCSD Board of Directors  
November 21, 1994

## EXECUTIVE SUMMARY

Cambria is a picturesque community. An integral component of Cambria's beauty is its internal features, the lush Santa Rosa Creek corridor and rolling hillsides covered with Monterey pine forests. Adding to Cambria's internal beauty are the town's surrounding open areas composed of mountains dotted by oak woodlands, vast agricultural lands, and scenic beaches. These features define Cambria's charm and character. It is Cambria's beauty and uniqueness that have maintained the community's local population, attracted newcomers, and generated a flourishing tourist industry.

As communities prosper it is important that adequate planning occur to provide needed facilities and protect local features. These local features include amenities such as parks, recreation and open spaces. Such features protect a community's quality of life and its economic viability. Without adequate preservation of these features a community's character and quality of life may be lost.

This Master Plan is a tool to establish adequate park, recreation and open space resources within the Cambria community for the use and enjoyment of all its citizens and its visitors. Identified in the Master Plan are park, recreation and open space projects; management and maintenance objectives; funding sources; and criteria for acquisition. The Cambria Community Services District (CCSD) would administer this plan, providing local responsibility and authority. It is expected local control would (a) increase the likelihood of a local revenue source for park, recreation and open space projects, (b) stimulate community involvement and participation, and (c) provide more public facilities. A summary of the Master Plan's goals and objectives are attached (see page iii). In general the long-range vision of this plan is to:

- Provide adequate park, recreation (including trails) and open space areas within Cambria.
- Protect Cambria's character and quality of life for existing and future residents.
- Maximize the use of existing facilities through joint use agreements with public and private agencies.
- Maximize the community's involvement in the development of park, recreation and open space projects.

## SUMMARY OF GOALS & OBJECTIVES

The Park, Recreation and Open Space Master Plan has five goal statements and a series of objectives, and implementing policies. The Plan's goals and objectives are listed below:

**GOAL 1. Provide a high quality public park system with adequate park acreage and varied recreational opportunities that are accessible to all Cambrian residents.**

**Objectives:**

- A. Bring the amount of Cambria's parkland into compliance with this plan's standards.
- B. Acquire adequate park sites for Cambria's future growth.
- C. Design park and recreation facilities which will enhance community identity and which will serve the recreation needs of Cambrians of all ages, economic situations and physical abilities.
- D. Maximize opportunity for joint use of public lands and private facilities that are suitable for community park and recreation use.
- E. Provide park sites consistent with Cambria's diverse needs.
- F. Provide a multi-use trail system throughout Cambria.
- G. Provide trail corridors which link parks, open space, recreation areas, neighborhoods, and commercial centers.

**GOAL 2. Provide a diversity of recreational, creative and cultural programs and experiences for all age groups, and provide these programs and experiences at facilities that are accessible to varying age groups, economic situations and physical abilities.**

**Objectives:**

- A. Provide adequate indoor and outdoor recreation opportunities for existing and future populations.
- B. Provide a range of basic recreation opportunities throughout the community such as, but not limited to, playgrounds, picnic areas and grass play fields, and provide some specialized recreation opportunities such as, but not limited to, play courts, ball fields and swimming pools in various areas of Cambria's parkland.

## Cambria's Parks, Recreation &amp; Open Space Master Plan

- C. Maximize recreation opportunities by utilizing joint use agreements.
- D. Provide adequate indoor community recreation facilities.

**GOAL 3. Create and preserve an open space system in Cambria to conserve, restore and enhance local resources and provide passive recreation.**

**Objectives:**

- A. Protect and enhance Cambria's significant resources and aesthetic qualities to maintain Cambria's character, quality of life and economic viability.
- B. Provide community education and passive recreation (such as trails, viewing platforms, and benches) in open space areas as long as resources can be maintained in essentially a natural state.
- C. Provide open space sites that protect significant resources for the appreciation of current and future populations.

**GOAL 4. Manage park, recreation and open space lands and facilities efficiently while maintaining the quality of District resources and programs.**

**Objectives:**

- A. Provide for community involvement, public education and appreciation of park, recreation and open space lands and facilities.
- B. Plan for the management, acquisition and development of future park, recreation and open space systems to meet present and future Cambrian needs.
- C. Allow uses on park, recreation and open space lands that balance recreation needs with resource protection.
- D. Manage and maintain park, recreation and open space lands and facilities in a responsible manner.
- E. Provide adequate safeguards to make park, open space and recreation lands and facilities good neighbors and safe for community use.

**GOAL 5. Structure an implementation program for achieving the policies of this master plan through a combination of public and private funds, regulatory processes, and innovative strategies.**

**Objectives:**

- A. Develop a multi-source financing program for park, recreation and open space acquisition and development.
- B. Use park, recreation and open space funds to provide priority projects.
- C. Use acquisition methods which maximize the CCSD funds available.
- D. Utilize a variety of methods to obtain park, recreation and open space lands and facilities.
- E. Fund necessary program personnel to operate and maintain a Park, Recreation and Open Space Department.

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# *Chapter I*

## **INTRODUCTION**



## CHAPTER I - INTRODUCTION

The purpose of this Park, Recreation and Open Space Master Plan is to provide adequate park, recreation and open space lands for Cambria's existing and future populations. The Cambria Community Services District (CCSD) would administer this Master Plan and thus provide local responsibility for the development and management of Cambria's park, recreation and open space lands and facilities.

The Master Plan is arranged into six chapters. This Chapter, Chapter I, serves as the introduction providing background data. Chapter II provides goals, objectives and standards for park and trail projects. Chapter III discusses recreation standards and projects. Open space projects are discussed in Chapter IV. Chapter V presents guidelines for CCSD's management of park, recreation and open space lands. How these lands and facilities should be acquired is discussed in Chapter VI.

### Background

The community of Cambria was established in the late 1860s by shipping, mining and agricultural interests. By the late 1870s the town of Cambria had grown, obtaining a population of approximately 300. At this time Cambria was the second largest town in the County (second only to San Luis Obispo, the County seat), with 1,000 to 2,000 hill and coastal inhabitants dependent on Cambria for supplies and business transactions. The extension of the railroad into San Luis Obispo in 1894 caused the rapid decline of coastal shipping from Cambria. As a result, Cambria, isolated by mountains and a bad road ceased to be the second largest community in the County by the turn of the century. By 1924, Cambria's mining industries had declined, leaving farming as the area's principal industry. In 1958, when the California Department of Parks and Recreation opened the William Randolph Hearst estate at San Simeon to the public the tourist boom in Cambria began.<sup>1</sup>

Similar to other scenic coastal communities, Cambria has grown steadily over the years. By 1990 Cambria's population had increased to 5,382 residents. In the ten year period from 1980 to 1990 Cambria's population grew by 70% whereas the County of San Luis Obispo's population grew by only 47 percent. It is projected that by the year 2010 Cambria will have a permanent population of 8,481 persons.<sup>2</sup> According to 1990 census data, Cambria's current population is primarily within the age groups 18-64 (58%) and over 65 (24%). The community's major economic base is tourism, with most of the local work force involved in the service and retail trades. Due to Cambria's

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<sup>1</sup> Hamilton, Geneva, *Where the Highway Ends*, Williams Printing Co, Cambria, California, 1974.

<sup>2</sup> San Luis Obispo County Department of Planning and Building, *Public Review Draft, North Coast Area Plan*, San Luis Obispo, March 1993. The North Coast Planning Area (which includes Cambria, San Simeon and the rural areas surrounding these communities) is anticipated to have a population of approximately 9,357 by the year 2010, with most of the growth occurring in Cambria's area.

pleasant natural setting and location near Hearst Castle, Big Sur and other attractive tourist destinations, it is expected the retail and service trades will remain the community's economic base.

The provision of parks, recreation and open spaces has not kept pace with Cambria's development. Within the community, park and open space opportunities consist primarily of shoreline trail segments, open beaches, and two small County parks (i.e., Shamel and Lampton). As the community continues to grow there is local concern that adequate park, recreation and open space facilities will not be available for current or future Cambrian populations.

### Community Participation

In 1990, as a result of community concern, the Cambria Community Services District Board of Directors (Board) held public meetings to discuss Cambria's park, recreation and open space needs. At this time the Board established an Advisory Committee to discuss the possibility of creating a community based Parks, Recreation and Open Space Department. In 1992 the Advisory Committee contracted for a community survey to better assess community interest and demand for park, recreation and open space services. Results from the community survey<sup>3</sup> indicated tremendous support for additional park, recreation and open space areas, and indicated support for local sponsorship of park, recreation, and open space programs. The Cambria Community Services District (CCSD) received the highest level of support for sponsorship. In addition, survey results indicated 62% of the respondents were willing to pay some monies to establish additional park, open space, and recreation facilities.

In late 1992, based on survey results, Advisory Committee recommendations, and public input the CCSD Board established a Parks, Recreation & Open Space Commission (PROS). Throughout 1993 the Commission has held public meetings to discuss park, recreation and open space issues and has been actively involved in the development of this Park, Recreation and Open Space Master Plan. To augment community interaction meetings have been noticed, and a newspaper survey<sup>4</sup> and needs assessment were conducted. This Master Plan represents the work of the Parks, Recreation and Open Space Commission, the CCSD staff, and members of the public. The intent of the Parks, Recreation and Open Space Commission in writing this Master Plan is summarized below in the Commission Mission Statement (adopted October, 1993):

Cambria's Parks, Recreation and Open Space Commission (PROS) is dedicated to the acquisition, development and maintenance of a comprehensive park system, recreational facilities, open space and trails in Cambria.

PROS develops recreation programs offering a wide variety of active and passive leisure opportunities.

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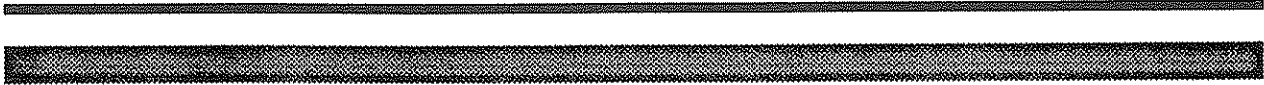
<sup>3</sup> The 1992 survey was mailed to 400 Cambrian residents. Sixty-one percent of the randomly selected respondents replied.

<sup>4</sup> The newspaper survey was conducted in the summer of 1992. Sites recommended by the public are included in Appendix A.

PROS coordinates existing recreational facilities and programs to maximize efficiency and avoid duplication of effort.

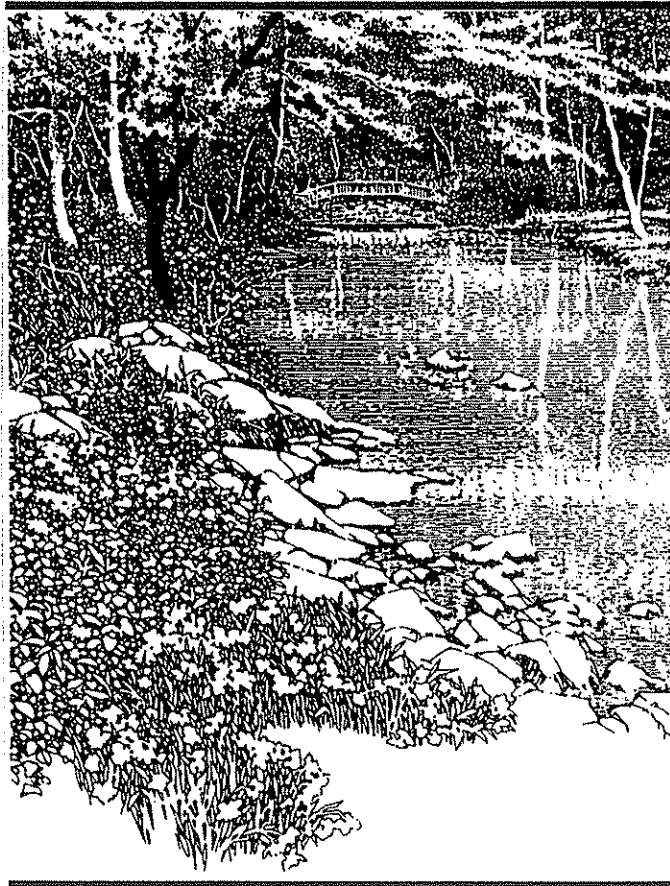
PROS strives to protect the physical environment of Cambria through acquisition, preservation and enhancement of open space.

PROS promotes community support and solicits input from all Cambria residents regarding parks, recreation and open space.



*Chapter II*

**PARKS & TRAILS**



## CHAPTER II - PARKS & TRAILS

### Introduction

Parks are an essential component of a community. Just as a community must plan for its commercial, residential and industrial land uses, it must also plan for its parks and natural areas. Parks provide local amenities such as essential active and passive recreation areas, a visual contrast to the surrounding developed environment, and an area for relaxation and enjoyment for all age groups. Studies have found that a community's local economy is strengthened if it contains high-quality park, recreation and open space systems.<sup>5</sup> These facilities are amenities that local citizens enjoy and attract tourist dollars that strengthen the local economy. In addition, communities containing well-developed and attractive park and recreation systems generally rate higher on a quality of life scale than communities that do not.<sup>5</sup>

As noted in Table 1, public parklands within Cambria consist of County and California Department of Parks and Recreation (CDPR) owned and managed facilities. The County maintains Shamel and Lampton Parks. These parks provide primarily passive recreation although Shamel Park does provide children's play equipment and a swimming pool. The CDPR administers San Simeon State Park which includes Leffingwell Landing, the bluffs along Moonstone Beach Drive, Santa Rosa Creek Access, and the bluffs along Nottingham Drive. CDPR parks are located along the ocean frontage, containing various recreation facilities (such as bluff trails, benches, viewing areas and beach access). It is within existing public parks and along Cambria's roadways that the few trails within the community are located.

Private parkland within Cambria includes Camp Yeager, the YMCA Camp, and Andy's Garden. Camp Yeager and the YMCA Camp provide facilities primarily for group camping, and at this time are not available as public park sites. Andy's Garden is a private park open to the public which contains landscaping and benches. For a description of Cambria's existing park, recreation and open space sites and facilities see Appendix B.

<b>Jurisdiction</b>	<b>Park Name</b>	<b>Acres Parkland<sup>a</sup></b>
County of SLO	Shamel	6.0
	Lampton	2.1
California Department of Parks & Recreation (CDPR)	Leffingwell Landing	30.0
	Moonstone Beach Drive	
	Santa Rosa Creek Access	
	Nottingham Bluffs	3.0
County of SLO and CDPR	Coastal Accessways	4.3
<b>TOTAL</b>		<b>45.4</b>

<sup>a</sup> This column includes acres used for parks and recreation. Shoreline area is considered open space and is not included in this calculation.

<sup>5</sup> State of California, Department of Parks and Recreation, *California Outdoor Recreation Plan - 1988*, Sacramento, California, November 1988.

Table 2 provides National Recreation and Park Association (NRPA) guidelines for various park types. As can be seen by comparing Tables 1 and 2, Cambria has limited park acreage. Currently Cambria has approximately 45 acres of parkland. To be consistent with NRPA guidelines, park acreage should be approximately 172 acres. By the year 2010, Cambria's park acreage should increase to a total of 272 to 299 acres (depending on Cambria's population in 2010). Although NRPA guidelines are not standards, they do provide communities with some reference point or goal for park acreage. As with any

community resource, Cambria's parkland deficit cannot be rectified overnight; however, by maximizing the use of existing facilities (such as schools), obtaining new parks and trails with larger development, and by purchasing additional parklands Cambria's existing and future park needs could be met.

**Table 2  
Cambria's Park Needs (Existing & Future)**

Facility Type	Standard <sup>1</sup> (Acres to Population)	Cambria's Existing Population in 1990 (5,382) <sup>2</sup>		Cambria's Future Population Year 2010 (8,481-9,357) <sup>2</sup>	
		Need in Acres	Number of Parks	Need in Acres	Number of Parks
Linear & Mini Parks	No standard provided.	--	--	--	--
Neighborhood Park (NP)	6 acres per 1,000 population	32 acres	5 NPs (each ~6 acres)	51 - 56 acres	5 NPs (each ~10.2 - 11 acres)
Community Park (CP)	6 acres per 1,000 population	32 acres	1 CP	51 - 56 acres	2 CPs (~30 acres each)
Regional Park (RP) <sup>3</sup>	20 acres per 1,000 population	108 acres	1 RP (should be ~200 acres)	170-187	1 RP (~200 acres)
<b>TOTAL</b>		<b>172 acres</b>		<b>272 - 299 acres</b>	

<sup>1</sup> Standards are from the National Recreation and Park Association, *Recreation, Park and Open Space Standards and Guidelines*, 1983.  
<sup>2</sup> Population figures are from the San Luis Obispo County Planning and Building Department, *Public Review Draft North Coast Area Plan*, San Luis County, March 1993.  
<sup>3</sup> A regional park would serve Cambria, Cayucos, San Simeon, Morro Bay as well as rural areas surrounding these communities.

**GOAL #1. Provide a high quality public park system with adequate park acreage and varied recreational opportunities that are accessible to all Cambrian residents.**

**2.1 Park Acquisition & Development**

**Objectives:**

- A. Bring the amount of Cambria's parkland into compliance with this plan's standards.



- B. Acquire adequate park sites for Cambria's future growth.
- C. Design park and recreation facilities which will enhance community identity and which will serve the recreation needs of Cambrians of all ages, economic situations and physical abilities.

**Implementing Policies:**

- 2.1.1 Maximize the use of existing public or quasi-public facilities to provide additional park sites such as existing or proposed school sites, state lands, Camp Yeager, and the YMCA Camp.
- 2.1.2 Coordinate new parkland acquisition and development with public and private sector development proposals when feasible.
- 2.1.3 Acquire land for parks and preserves in advance of urban growth and development. Some land may be acquired and left undeveloped (as open space) until funding becomes available.
- 2.1.4 Concentrate park acquisition, development and rehabilitation efforts on sites larger than one acre, except where significant resources merit protection or where a mini-park or linear park (a) contributes to a scenic roadside character, (b) provides the only available or likely available park site in a neighborhood, (c) provides a trail connection, or (d) connects existing or potential park sites, open space and/or recreation areas.
- 2.1.5 Acquire and develop parkland consistent with the National Recreation and Park Association (NRPA) standards in Tables 3 and 4 (see pages 11 and 12).
- 2.1.6 Design and locate parks and recreation consistent with the Project Summary contained in Appendix C (see page C-1).

**2.2 Joint Use Projects (Parks)**

**Objective:**

- D. Maximize opportunities for joint use of public lands and private facilities that are suitable for community park and recreation use.

**Implementing Projects:**<sup>6</sup>

- 2.2.1 Establish joint-use agreements with school facilities to augment parklands where feasible.
  - a. Coast Union High School. Establish a joint use agreement with Coast Union High School. The joint use agreement should provide for community utilization of existing school facilities, and additional new recreational facilities for community use. In addition,

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<sup>6</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

## Cambria's Parks, Recreation &amp; Open Space Master Plan

utilize the school site and adjacent lands to develop a community park.

- b. Santa Lucia Middle School. Establish a joint use agreement to provide community utilization of existing school facilities. In addition, obtain additional land around the school to create a neighborhood park and to augment recreational opportunities.
- c. Cambria Grammar School (on Main Street). Establish a joint use agreement to provide community utilization of existing school facilities. If Cambria Grammar School relocates to another site pursue this site as a community park and/or center.
- d. Future School Facilities. At any future school facility, design a neighborhood or community park as part of the new school facility and arrange for joint use of school recreation facilities.

2.2.2 Establish joint-use agreements with other public or private agencies to augment parkland where feasible.

- a. Camp Yeager. Establish a neighborhood park or public recreation facility at this site through a joint use agreement.
- b. YMCA Camp (Camp Ocean Pines). Establish a park and/or a public recreation facility at this site through a joint use agreement.
- c. State Lands. Consider potential park or recreation uses in conjunction with CDPR park facilities. Establish a joint use agreement with CDPR to provide benches or improved trails as deemed necessary by the community.
- d. County Parks. Consider potential park or recreation uses in conjunction with County park facilities. Establish a joint use agreement with the County to provide additional parkland and recreation within Cambria.
- e. Andy's Garden. Support Andy's efforts to maintain this area as a park. Establish a joint use agreement (as necessary) or an endowment fund to maintain community use of this site as a park indefinitely.
- f. Pacific Pines Homeowner's Association. Consider potential park, recreation and open space uses in conjunction with the Pacific Pines Homeowner's Association. Consider a joint use agreement with this Association to provide additional park, recreation and open space opportunities.
- g. Other Facilities. Consider neighborhood churches and other private or public facilities (containing large yard areas and/or recreation opportunities) that may be able to provide park and recreation opportunities. If such facilities are available and can provide meaningful park and/or recreation opportunities, establish a joint use agreement with such facilities.

### 2.3 Mini-, Linear, Neighborhood, Community and Regional Parks

#### Objective:

E. Provide park sites consistent with Cambria's diverse needs.

#### Implementing Projects:<sup>7</sup>

- 2.3.1 Investigate an East-Village downtown mini-park or museum. As part of the facility, involve local citizens and the Chamber of Commerce to develop a visitors' map outlining a historic walk through Cambria. Provide facilities at this downtown location consistent with the downtown's scale and character.
- 2.3.2 Throughout various neighborhoods in Cambria provide neighborhood, linear or mini-parks. Lodge Hill should have priority for a park site(s) since existing and proposed facilities in this area are limited due to the neighborhood's existing density and the potential for future development. See Appendix D for a list of potential park and/or open space sites.
- 2.3.3 Along Santa Rosa Creek create:
- a. The Santa Rosa Creek Parkway. This park would be a linear park extending from Coast Union High School to Shamel Park. The linear park should provide sufficient width for creek protection (open space), a multi-use trail, and periodic recreation facilities (such as benches, viewing platforms, and tot facilities).
  - b. The Coast Union High School Community Park. Adjacent to the High School, create a community park consistent with Policy 2.2.1 (a).
  - c. The Rodeo Grounds Road Community Park. Within the downtown area, near the floodplain of Santa Rosa Creek, provide a community park (between Rodeo Grounds Road and Highway 1).
- 2.3.4 Create a Cambria Regional Park. This park would be located within the Cambrian area. Cambria's Regional Park should be approximately 200 acres. The CCSO should work with the County of San Luis Obispo, CDPR, and private property owners to create this park. Cambria's Regional Park may include such facilities as a golf course, trail system, tennis courts, an open air theater, environmental center, and picnic facilities. The first phase of this project may be a community park.
- 2.3.5 Create a Municipal Golf Course. A golf course should be located within close proximity of the Cambria community. Onsite or municipal services and infrastructure should be readily available. Site considerations should include appropriate terrain and parcel size conducive to a golf course layout. The golf course may be located in close proximity to the regional park

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<sup>7</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

in order for joint use of facilities and infrastructure.

## 2.4 Trail Acquisition & Development

### Objective:

F. Provide a multi-use trail system throughout Cambria.

### Implementing Policies:

- 2.4.1 Provide for trails (as logical) when negotiating new or existing CCSD easements (such as sewer and water).
- 2.4.2 Where feasible provide trails connecting neighborhoods, commercial and recreation areas. Accomplish this by working with:
  - a. Landowners and holders of utility easements to provide trail connections and corridors. Only obtain trails from willing landowners.
  - b. Neighborhoods to improve the ten foot right-of-ways created by Cambria's original subdivisions.
- 2.4.3 Design trails for multi-use whenever possible
- 2.4.4 Encourage the County to:
  - a. Receive trail dedications and easements as a condition of large, new development, and
  - b. Plan and develop trails along major thoroughfares for safe pedestrian/bicycle transit.

## 2.5 Trail Projects

### Objective:

G. Provide trail corridors which link parks, open space, recreation areas, neighborhoods, and commercial centers.

### Implementing Projects:<sup>8</sup>

- 2.5.1 Strawberry Canyon Trail. Create a multi-use trail through Strawberry Canyon that connects Randall Drive to Burton Drive. The trail should be located within an open space corridor, trail corridor or park (neighborhood or linear).

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<sup>8</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

- 2.5.2 Ramsey Trail. Provide a multi-use trail along Highway 1, connecting Ramsey Avenue with the proposed Santa Rosa Creek Trail.
- 2.5.3 Moonstone Beach Trail. Work with CDPR, the County and adjacent property owners to develop a multi-use trail along Moonstone Beach Drive. The trail should extend from Highway 1 to Windsor Boulevard.
- 2.5.4 East-West Ranch Trails. Work with the owners of East-West Ranch to develop multi-use trail connections as part of the site's development. The trails should connect area neighborhoods (Park Hill, Marine Terrace, and Lodge Hill) and provide access to the new school, park and open space areas.
- 2.5.5 North-East Cambria Trail. Work with the owners of the Leimert Tract and C.T. Ranch property to develop multi-use trail connections. Trails should connect the Leimert Tract with Camp Yeager, northern neighborhoods (i.e., Happy Hill and Pine Knolls) and Bridge Street.
- 2.5.6 Santa Rosa Creek Trail. Develop a multi-use trail adjacent to the Santa Rosa Creek corridor extending from Coast Union High School to Shamel Park as part of the Santa Rosa Creek Parkway project. The Santa Rosa Creek Trail is included within San Luis Obispo County's Trail Plan.
- 2.5.7 Sibley Ranch Trails. Provide the following multi-use trails:
- a. Sibley Ranch Trail. A trail which connects Lampton Park the YMCA Camp and Strawberry Canyon.
  - b. Sibley Ranch Lake and Ridge Trail. As a first priority provide a trail connecting the YMCA Camp with Sibley Ranch Lake. Consider extending this trail toward the former Air Force Station and eventually to Highway 1.
- 2.5.8 Valley View Trail. Provide a multi-use trail connecting Gleason Street to Preston Street.
- 2.5.9 Santa Lucia Trail. Provide a multi-use trail connecting Santa Lucia Middle School to the Santa Rosa Creek Trail.
- 2.5.10 Cambria Loop Trail. Provide a multi-use trail connecting Camp Yeager to San Simeon State Park. This trail should include a connection to the Moonstone Beach Trail near the Hamlet Restaurant as well as a connection to CCSD property located along San Simeon Creek.
- 2.5.11 Fern Canyon Trail. Provide a multi-use trail connecting Ardath Drive to Highway 1 and Highway 1 to the East-West Ranch trail near Trenton Drive.
- 2.5.12 Pine Street Trail. Provide a multi-use trail connecting Pine Street to the Santa Rosa Creek Trail.

**Table 3 - PARK STANDARDS**

Park Type	Description	Typical Size	Typical Facilities May Include:	Recreation Standard	Design
<b>Linear Parks</b>	Such parks are developed along natural or built corridors.	Sufficient width for resource protection, and recreation, and trail corridor.	Benches, individual picnic tables, and pedestrian, horseback riding, and/or bike corridors. Facilities are dependent upon corridor size and location.	Linear parks should be long enough to provide (a) recreation and park area or open space appreciation, and (b) a trail corridor.	Linear Park recreation facilities should be setback from adjacent residential or commercial development and natural resources (such as creeks). Access points should be adequately planned and provided for.
<b>Pocket Park or Mini-Park</b>	Specialized facility serving a limited population or specific group (such as tots or senior citizens).	0.25 to 1 acre*	Play apparatus for small children, benches and small picnic areas, turf, and landscaping.	Serving primarily residences within less than 1/4 mile radius. Mini- and pocket parks should be provided primarily when neighborhoods have been built-out and other park facilities (such as neighborhood or community parks) are not in near proximity or cannot be provided due to land constraints. If mini-parks are provided in instead of a neighborhood park because of land constraints, to the extent feasible mini-parks should be spaced to provide each segment of the neighborhood with park facilities.	Enhance a neighborhood area which has limited park opportunities and a large tot or senior citizen population.
<b>Neighborhood Park (NP)</b>	A park which serves primarily one neighborhood. NPs provide facilities for all ages, and include passive and active recreation areas.	1 to 10 acres*	Open turf area, small picnic area, paths, play equipment for children, multi-use game courts, drinking fountain, benches, restrooms, parking, and landscaping.	6 acres per 1,000 people in a given neighborhood. Serves a neighborhood. Should be within roughly 1/4 to 1/2 mile radius of neighborhood being served.	Roughly half the area will be developed for active recreation; half will be developed as passive space.
<b>Community Parks</b>	A park serving the community or numerous neighborhoods.	Roughly 20 to 30 acres.	Large children's play area, reserved picnic facilities, turf areas, community building. May include tennis courts, outdoor concert area, parking, restrooms, and other special facilities.	6.0 acres per 1,000 Cambria residents. Serving the community of Cambria or numerous Cambria neighborhoods.	Central location preferred; however, a community park may be located on land near the perimeter of the CCSD. Natural areas or community resources should be preserved and enhanced.
<b>Regional Parks</b>	Regional parks serve several communities, providing areas for outdoor recreation including picnicking, boating, fishing, swimming, and hiking.	100 to 200+ acres	Large open space areas, large group picnic facilities, nature center, trail system, scenic drive, campgrounds, competitive sports fields, outdoor arena, golf course, play equipment for varied age groups, tennis courts, concessions, restrooms, parking, and landscaping.	20 acres per 1,000 population. Serves several communities within one hour driving time. Located to serve Cambria and northern San Luis Obispo County (e.g., Cayucos, San Simeon and areas in close proximity).	Centrally located service and information center, typically includes onsite ranger (with residence).

Source: The National Recreation and Park Association (NRPA), *Park and Open Space Standards and Guidelines*, 1983.

\* Park sizes have been adjusted downward from the NRPA standards since Cambria's neighborhoods had very limited vacant land for park sites.

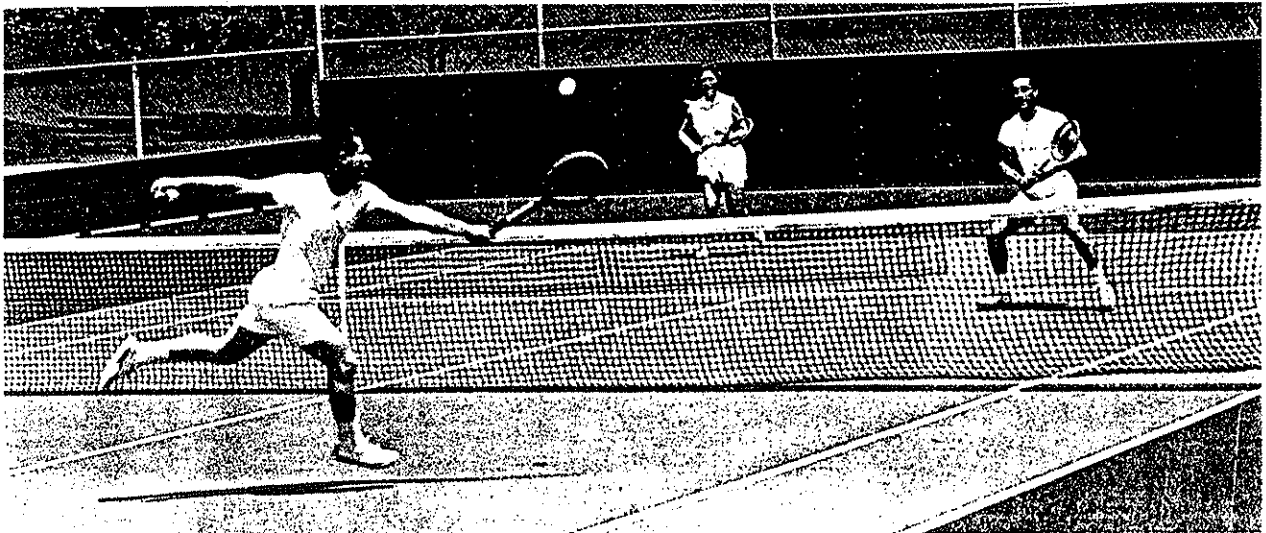
<b>Table 4 Related Park Types and Facilities</b>		
<b>Facility</b>	<b>Comments</b>	<b>Criteria for Credit As Park Site</b>
<b>Schools</b>	Schools provide recreation opportunities for certain age groups.	Credit for school yard as park space is given on a one-to-one basis only when they are used jointly by the school and the CCSD. Schools should be considered as part of Cambria's park system only if a joint use agreement is in effect for the particular school.
<b>Centers</b>	Four types of centers may exist: (1) small multi-use centers in neighborhoods, (2) large centers which provide for organized activities for all Cambrian residents and are strategically located to serve the existing and future Cambria population, (3) centers which provide for specialized activities in the cultural or creative arts, thereby also serving a regional population, and (4) Olympic Centers which serve a large population from outside the Cambria area.	A center is not a park since it does not provide the range of recreation options present in parks. A neighborhood or larger park may contain a center.
<b>Golf Courses</b>	Golf courses are special facilities which help meet regional recreation needs. On easily developed land, the minimum effective size for a 9-hole course is 50 acres and for an 18-hole course is 125 acres.	A regional park might contain a golf course.
<b>Trail Corridors (Multi-use)</b>	Trails should be: (1) developed as separate paths as a recreation experience in themselves, (2) developed as key links from isolated neighborhoods to parks, and (3) should connect other park, open space and recreation facilities when feasible. Staging areas should be provided at suitable intervals.	Should not be considered a park by themselves.
<b>Private Open Space</b>	Requirements for open space in developments is a zoning issue. Developers should be encouraged to include usable recreation space in high-density housing projects to offset the lack of private yard space normally used for family recreation. This would vary according to the number of children expected to live in the development.	Private open space is not considered park space.

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*Chapter III*

**RECREATION**





## CHAPTER III - RECREATION

### Introduction

Recreation opportunities are important within a community. Such activities, which range from a rural trail located in a nature preserve to an intensely developed park site, provide direct and indirect community benefits. Direct benefits include the availability of physical activities, skill development, and education for all age categories. For instance, day camps and other programs for young people provide information about the natural environment and encourage the sharing of ideas. Athletic fields and court facilities provide opportunities for friendly competition and physical exercise, and community centers may provide the setting for cultural and educational events such as art shows, community theater, ethnic fairs and historical displays.

The availability of leisure activities also contributes indirectly to a community. Indirect benefits include personal enrichment and a higher quality of life. Such benefits occur through such activities as a walk along a scenic vista or the individual exhilaration of successfully completing a sport's event. Another indirect benefit is economic vitality. Recreation facilities may increase a community's tourist dollars.<sup>9</sup> As noted in the *California Outdoor Recreation Plan*, in 1988 California's recreation and leisure industry was the third largest industry in the state. More than \$30 billion per year is spent by Californians on recreation and leisure, and it is anticipated recreation demands will only increase in the future. Due to factors such as leisure and economic constraints, physical fitness needs, and family trends<sup>10</sup> it is anticipated recreation demand will increase primarily at the community level.

Public outdoor recreation facilities in Cambria are located in CDPR and County parks. Since parklands are sparse, Cambria's outdoor recreation facilities are limited. County and State outdoor recreation facilities primarily consist of passive recreation (trails, picnic facilities, and benches for ocean viewing). Local indoor recreation facilities include public facilities such as the Veteran's Memorial Building, school facilities, and private facilities such as the Joslyn Center, the Youth Center, the YMCA Camp, Camp Yeager, and Cambria Pines Lodge. The Veteran's Memorial Building is owned and operated by the CCSD. School facilities are operated by County Schools, and the remaining facilities are privately operated. See Appendix B for a list of existing activities available at individual facilities.

Similar to parks, indoor and outdoor recreation opportunities could be augmented in Cambria by maximizing the use of existing facilities. For example, the CCSD could form a joint use agreement

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<sup>9</sup> State of California, Department of Parks and Recreation, *California Outdoor Recreation Plan - 1988*, Sacramento, California, November 1988.

<sup>10</sup> Within the United States there is a growing number of single parent households and two-parent households with both spouses working full-time. In addition, seniors seem to be continuing an active lifestyle into later years. These trends result in more dependence on local recreation facilities.

with the school district. Such an agreement could provide public access to school facilities during summer months and during evenings when local schools are not in session. This access would be provided by the CCSD paying a fee and/or the CCSD providing additional onsite recreation. A joint-use agreement in this case might provide additional community recreation, school revenues, and additional school recreation facilities. Such agreements may benefit the community and the grantor of a joint-use agreement.

**Goal #2. Provide a diversity of recreational, creative and cultural programs and experiences for all age groups, and provide these programs and experiences at facilities that are accessible to varying age groups, economic situations and physical abilities.**

### 3.1 Recreation Development

#### Objectives:

- A. Provide adequate indoor and outdoor recreation opportunities for existing and future populations.
- B. Provide a range of basic recreation opportunities throughout the community such as, but not limited to, playgrounds, picnic areas and grass play fields and provide some specialized recreation opportunities such as, but not limited to, play courts, ball fields and swimming pools in various areas of Cambria's parkland.

#### Implementing Policies:

- 3.1.1 Preserve and enhance existing community recreation by upgrading existing facilities, utilizing joint use agreements, encouraging joint public-private development of needed recreation facilities, and obtaining new facilities as they are needed.
- 3.1.2 Develop a balanced recreation program that provides activities for all age groups.
- 3.1.3 Utilize surveys and other methods to regularly evaluate park and recreation programs and to determine the extent of their use and support
- 3.1.4 Expand recreation programs for which there is a large demand. The more specialized a recreation program, the more financially self-supporting it should become.
- 3.1.5 Include special need groups (such as teens) in the design and management of programs for such special need groups.
- 3.1.6 Provide recreation in mini-, linear, neighborhood, community and regional parks consistent with this plan and the NRPA standards in Tables 3, 4, and 5 (see pages 11, 12 and 17).
- 3.1.7 Provide adequate recreation facilities and resource protection by designing, locating and maintaining recreation areas consistent with Appendix C, the Project Summary (see page C-1).

### 3.2 Joint Use Projects

#### Objective:

C. Maximize recreation opportunities by utilizing joint use agreements.

#### Implementing Projects:

- 3.2.1. The CCSD should develop cooperative agreements with the school district, the YMCA camp, Camp Yeager, State Parks, Joslyn Center, Youth Center, the former Air Force Station, local utilities and other similar agencies to provide park, recreation and open space areas throughout the CCSD service area. Such agreements may be with public or private agencies as long as sufficient public access is provided.
- 3.2.2 Work with the County, State and other agencies to coordinate recreation planning and development, including joint recreation projects.
- 3.2.3 Develop a program for joint CCSD/business or CCSD/developer projects. These projects should provide community recreation and possible revenue for CCSD park, recreation and open space purchases or maintenance. For example, work with private developers and property owners to develop a golf course. Monies from this project (such as a "tee off fee") should be utilized for open space, recreation or park purchases.
- 3.2.4 Establish a joint use agreement as necessary to expand recreational facilities at Cambria Pines Lodge for community use.

### 3.3 Community Centers

#### Objective:

D. Provide adequate indoor community recreation facilities.

#### Implementing Projects:

- 3.3.1 Provide at least one large community center within Cambria or provide a combination of centers that together meet indoor recreation needs. This may be done by:
  - a. As a first priority, upgrading the Veteran's Memorial Building to provide more indoor recreation opportunities and rehabilitating the outside grounds to make the center an attractive part of Cambria and utilizing joint-use agreements (at other facilities) to provide additional indoor recreation opportunities.
  - b. As a second priority, obtaining existing facilities that have good indoor recreation opportunities.

- c. As a third priority, obtaining new, centrally located facilities for indoor recreation.

If option b or c become necessary, existing or new facilities should be large enough to accommodate 200 to 300 people, provide adequate indoor recreation space that may also be utilized for events (such as weddings, art shows, and performing arts). Such facilities may also be used to consolidate existing public facilities (such as the library and adult education). The acquisition of existing or new facilities should be obtained through community monies, private donations, and similar methods.

Cambria's Parks, Recreation & Open Space Master Plan

**TABLE 5  
RECREATION FACILITY DEVELOPMENT STANDARDS**

Activity/Facility	Recommended Space Requirements <sup>a</sup>	Desired Facilities by 1999	Location Notes (Outdoor Facilities) <sup>a</sup>
Basketball	5,040 - 7,280 square feet (sf)	5	Outdoor courts in neighborhood and community parks, or within a school if there is a joint-use agreement.
Tennis	Minimum 7,200 sf single court (2 acres for complex)	6	Best in batteries of 2-4. Located in a neighborhood or community park or within a school if there is a joint-use agreement.
Volleyball	Minimum 4,000 sf	5	Same as other court activities (e.g., basketball, etc.)
Baseball:	Official	3	Part of a neighborhood complex. Lighted fields part of community complex or within a school if there is a joint-use agreement.
	Little League	1	
Football	Minimum 1.5 acres	1	Usually part of baseball, football, soccer complex in community park or within a school if there is a joint-use agreement.
Soccer	1.7 to 2.1 acres	2	Youth soccer on smaller fields within a community or neighborhood parks or within a school if there is a joint-use agreement.
Softball	1.5 to 2.0 acres	2	Slight difference in dimensions for 16" slow pitch. May also be used for youth baseball.
Multiple Recreation Courts (basketball, volleyball, tennis)	9,840 sf	b	
Golf (18-hole standard)	Minimum 110 acres	1	18-hole course can accommodate 500-550 people a day. Located in a regional park, within one hour driving time.
Track & Field	Design with football field.	1	Design with football field.
Swimming	Varies on size of pool and amenities. Usually 1/2 to 2 acre site.	2 <sup>c</sup>	Pools should be for teaching, competitive and recreation purposes and located in a community park or at a school site.

<sup>a</sup> From the National Recreation and Park Association (NRPA), *Recreation, Park and Open Space Standards and Guidelines*, 1983.

<sup>b</sup> See standards above for basketball, volleyball and tennis. Indoor multiple facilities should be provided within a gymnasium.

<sup>c</sup> One swimming pool could be located indoors.

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*Chapter IV*

**OPEN SPACE**



## CHAPTER IV - OPEN SPACE

### Introduction

Open space lands maintain the community's quality of life and strengthen the local economy by augmenting or maintaining tourism. The primary purpose of open space is the protection of an area's amenities such as its natural, cultural and scenic resources. This protection provides community identity and quality by maintaining the physical features which define a community and by providing passive recreation opportunities on protected lands. Within Cambria, open space resources generally include portions of the following: the Santa Rosa Creek corridor, the beach areas (including tidal, shoreline and bluff areas), Monterey pine forests, watersheds, cultural resources and wetland areas.

According to the *California Outdoor Recreation Plan - 1988*, environmental quality is a major public concern. In recent surveys, nearly 95% of the respondents agreed that protection of the natural environment was important for outdoor recreation, and 86.5% thought that destruction of the natural environment was a significant problem in California. According to the Outdoor Recreation Plan, the public's concern for environmental quality will become stronger as communities continue to urbanize. The benefits of open space lands are not limited to the protection of environmental quality. By also providing passive recreation, such lands supply opportunities for environmental education and community recreation such as multi-use trails, benches, and viewing platforms. An advantage of such passive activities is that they can be provided close to home within a remaining natural environment.

Open space resources in Cambria currently include CDPR and County beach and bluff areas and the lands administered under the County's transfer of development credit (TDC) program.<sup>11</sup> As noted in Table 6, along Cambria's coast roughly 2 miles of shoreline open space has been protected through County and State efforts. The lower portion of Santa Rosa Creek is protected within the Santa Rosa Creek Natural Preserve (approximately 25 acres).<sup>12</sup> As of 1993, the Land Conservancy has obtained approximately 100 lots (roughly 4 acres), with the majority of lots protected in the Fern Canyon area. Future open space lands will largely result from public acquisition and conditions placed on

<b>Facility</b>	<b>Area</b>
Cambria's Shoreline	2 miles
Santa Rosa Creek	25 acres
TDC Program	4 acres

<sup>11</sup> Cambria's TDC program is administered by the County of San Luis Obispo. Under the TDC program, approved non-profits may sell development credits. Presently the SLO Land Conservancy is the non-profit selling development credits in Cambria. Under the current system, a person may increase the size of a Cambria residence (beyond the maximum gross structural area designated by the County) if they purchase a TDC. With the TDC money the Conservancy obtains open space lots in two places, i.e., Fern Canyon and the Highway 1 Scenic Corridor.

<sup>12</sup> The Santa Rosa Creek Natural Preserve is part of San Simeon State Park.

new development.

**GOAL #3. Create and preserve an open space system in Cambria to conserve, restore and enhance local resources and provide passive recreation.**

#### 4.1 Resources

##### Objectives:

- A. Protect and enhance Cambria's significant resources and aesthetic qualities to maintain Cambria's character, quality of life, and economic viability.
- B. Provide community education and passive recreation (such as trails, viewing platforms, and benches) in open space areas as long as resources can be maintained in essentially a natural state.

##### Implementing Policies:

- 4.1.1 Preserve those significant local resources identified in the plan (such as Monterey pine forests, the Santa Rosa Creek corridor, riparian corridors, and cultural and coastal resources) as open space.
- 4.1.2 Confer with appropriate local, State, and Federal agencies that protect and preserve natural resources when designing open space projects.
- 4.1.3 Provide community education and appreciation of open space areas by providing interpretive displays and other features that explain the importance and history of local resources. Trails and other passive recreation facilities may be developed; however, the majority of the site should be preserved in an essentially natural state.
- 4.1.4 Encourage the County to work with private property owners to:
  - a. Adequately protect Cambria's significant habitat areas, native forest lands, important view corridors, viewsheds, and gateways.
  - b. Protect as open space or parkland blocks of undeveloped land if such land is suitable for open space, parks or recreation. See Appendix D for a list of potential park and/or open space sites.

#### 4.2 Open Space Projects

##### Objective:

- C. Provide open space sites that protect significant resources for the appreciation of current and



future populations.

### **Implementing Projects:**<sup>13</sup>

4.2.1 Work with property owners to encourage preservation of the following areas as open space:

- a. Santa Rosa Creek Corridor. Preserve the Santa Rosa Creek corridor extending from Coast Union High School to Shamel Park. Santa Rosa Creek corridor provides valuable habitat and important scenic value. Open space would be contained within the creek corridor and creek setback. Active park and recreation facilities would generally be located outside the creek setback; passive recreation (such as trails, creek crossings, viewing platforms, and benches) would sporadically be located within the setback area. Protecting the creek corridor as open space would also reduce public safety concerns (flooding hazards).
- b. Fern Canyon. This area is being protected through a Transfer of Development Credit Program sponsored by the County of San Luis Obispo. This open space resource includes valuable habitat, forest lands, scenic value, and potential trail connections.
- c. Pine Knolls. Resources in this area are located within Sheffield Canyon. This site provides valuable habitat, forest lands, scenic value, and the potential for trails.
- d. East-West Ranch. This area includes:
  1. The pine forest located in the property's south east and south central sections, which contain forest lands, habitat area and potential trail connections; and
  2. The ocean frontage, forming a protected bluff area suitable for pedestrian trails and a wide open space corridor. Protection of this area is important as an open space corridor to protect marine habitat, and provide a buffer between development and future shoreline erosion.
- e. Vacant Parcels Adjacent to East-West Ranch. These adjacent vacant parcels, located west of Trenton Drive and east of East-West Ranch should be preserved (as feasible) to provide neighborhood access, protect native forest lands and associated habitat.
- f. Forested Canyon Between Burton Drive & School House Lane. This site is located near the Santa Lucia Middle School. It contains forest area, habitat and the potential for trails.
- g. San Simeon Creek Area. This site is located near the community of San Simeon along San Simeon Creek. In this area the CCSD owns approximately 105 acres. The San Simeon site contains valuable habitat as well as park and recreation opportunities.

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<sup>13</sup> Refer to the Cambria Park, Recreation and Open Space Map for the location of these projects (see page 22).

Through a joint use agreement with the CDPR added habitat preservation could occur as well as the provision of additional recreation opportunities.

- h. CT Ranch Monterey Pine Forest Land. This site is located in the northern portion of Cambria, incorporating the CT Ranch Incorporated lands of Monterey pine forest. This open space resource includes valuable habitat, forest lands, scenic value and potential trail connections.
- i. Strawberry Canyon. This site is located in the Lodge Hill Neighborhood. All or a portion of Strawberry Canyon should be set aside as open space to protect Monterey pine habitat and provide trail access from Burton Drive to Randall Drive and the YMCA Camp.
- j. Ramsey Open Space. This site is located between Highway 1 and Ramsey Drive. Portions of this site have been protected through a Transfer of Development Credit Program sponsored by San Luis Obispo County. Open space in this area would protect Monterey pine habitat, provide a buffer between Highway 1 and adjacent development to the east (visual and noise), and provide a corridor for neighborhood access to the Santa Rosa Creek Trail.

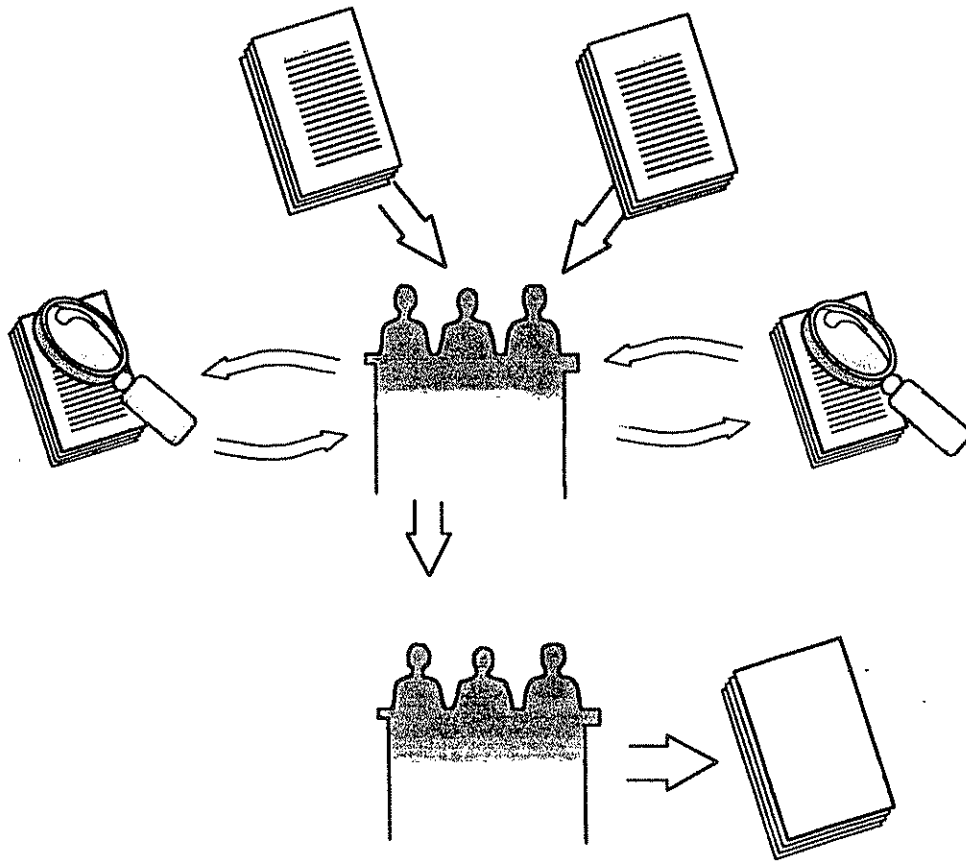
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# Chapter V

# MANAGEMENT



## CHAPTER V - MANAGEMENT

### Introduction

This Chapter provides guidelines for the operation, maintenance and management of park, recreation and open space resources. These policies should be used in conjunction with specific resource policies cited elsewhere in this plan.

**Goal # 4. Manage park, recreation and open space lands and facilities efficiently while maintaining the quality of District resources and programs.**

### 5.1 Community Involvement

**Objective:**

- A. Provide for community involvement, public education and appreciation of park, recreation and open space lands and facilities.

**Implementing Policies:**

- 5.1.1 Review park, recreation and open space facilities demand through periodic surveys. Park and open space amenities, recreation programs, and other issues should all be addressed.
- 5.1.2 Land acquired as parkland, recreation and/or open space should be permanently maintained in such uses unless the community at-large supports changes.
- 5.1.3 Develop and implement a public relations program to elicit community involvement, design and support of park, open space and recreation lands and facilities (such as a newsletter; adopt a park programs; local park design competitions; organizing community events in local parks, and similar programs).
- 5.1.4 Maintain a current record of all park, recreation and open space holdings (by fee and easement) for public information and review.

### 5.2 Planning

**Objective:**

- B. Plan for the management, acquisition and development of future park, recreation and open space systems to meet present and future Cambrian needs.

**Implementing Policies:**

- 5.2.1 Maximize opportunities for joint use of public lands and existing public and private facilities, and encourage expansion of recreational opportunities in such areas where it would benefit the community.
- 5.2.2 Establish a stable funding source for park, recreation and open space acquisition and development. Consistent with CCSD Board approval, annually budget funds from this stable funding source to meet the goals of this Master Plan.
- 5.2.3 Utilize this Master Plan as the guide for developing additional park, open space, and recreation facilities/areas.
- 5.2.4 Appoint a permanent CCSD's Park and Recreation Commission to advise in the future management and development of Cambria's park, recreation and open space system. The CCSD staff shall review detailed park, recreation and open space plans and make recommendations to the Parks and Recreation Commission.
- 5.2.5 Prepare management plans or park plans for park, recreation and open space areas. Periodically update these plans to guarantee their consistency with community needs and desires. See Appendix E for plan guidelines.
- 5.2.6 Work with the County and State to obtain park, recreation and open space dedications and easements, and Transfer of Development Credit lands when such lands would benefit the CCSD's park, recreation and open space program.
- 5.2.7 Work with the County to develop a Forest Management District and potentially have the CCSD administer this program as a part of the District's Park, Recreation and Open Space Department.
- 5.2.8 Encourage the County to:
- a. Adopt appropriate portions of this Master Plan for incorporation in (a) the County's Park and Recreation Element Update, (b) the Agriculture and Open Space Element, (c) the North Coast Area Plan Update, and (d) the Public Facility Fee Ordinance.
  - b. Require public or private development to locate new development consistent with this plan unless there is no practicable alternative.
  - c. Require development adjacent to existing or proposed park, open space and/or recreation facilities to add to rather than detract from such lands and facilities by requiring new development to provide, as appropriate (1) a buffer between proposed development and existing park, recreation and/or open space parcels to minimize conflicts between development and existing facilities; and (2) gates, fences, or other deterrents when such facilities are deemed necessary to discourage prohibited or non-compatible uses from entering park, recreation or open space lands.

- d. Designate preserved areas, or portions of preserved areas as: (1) open space if the area is used for resource protection or passive recreation, or (2) parkland if the area will be used for active recreation, a golf course, botanical garden, or similar recreational facility or as an urban park.

### 5.3 Uses Within Parks & Open Space

#### Objective:

- C. Allow uses on park, recreation and open space lands that balance recreation needs with resource protection.

#### Implementing Policies:

- 5.3.1 Encourage multiple uses of park and open space lands (such as recreation, open space, watershed, multi-use trails, and wildlife preservation).
- 5.3.2 At select locations, provide public interpretive services that contain information about the property, the CCSD's park, recreation and open space program, and/or the value of specific resources onsite. Provide such facilities to increase public awareness and appreciation of such resources.
- 5.3.3 Lands acquired for open space by the CCSD may consist of the following uses:
  - a. Passive recreation, including open areas, multi-use trails, viewing platforms, swimming, fishing, photography, painting, sketching and other similar day recreation use.
  - b. Other low intensity uses such as interpretation and scientific study of the natural environment; nature conservation; and landscape or wildlife restoration and enhancement programs where the natural landscape has been altered or degraded. Such programs may limit public access.
- 5.3.4 Lands acquired for parks and recreation by the CCSD should provide an adequate mix of recreation and resource protection and may consist of the following uses:
  - a. Active recreation facilities, including centers, play equipment, picnic facilities, sport areas (such as softball, baseball, volleyball, and soccer), play areas, trails and other similar facilities (consistent with the park standards contained in Tables 3 and 4). See pages 11 and 12.
  - b. Open space uses (see 5.3.3 above).

c. Community gardens, botanic gardens, and nurseries.<sup>14</sup>

d. Golf courses within regional parks or as an individual facility.

5.3.5 Discourage the construction of roads that are not compatible with park, recreation and/or open space areas.

5.3.6 Prohibit the expansion of adjacent private property uses onto park, recreation and/or open space lands unless such an encroachment benefits the public and is consistent with the designation of the land as parks, recreation or open space. All encroachments must be approved by the CCSD's Board of Directors.

#### 5.4 Design, Maintenance and Operation

##### Objectives:

D. Manage and maintain park, recreation and open space lands and facilities in a responsible manner.

E. Provide adequate safeguards to make park, open space and recreation lands and facilities good neighbors and safe for community use.

##### Implementing Policies:

5.4.1 Park, recreation and open space lands and facilities should be designed and constructed to:

a. Maximize neighborhood compatibility by providing security and privacy to adjoining properties. As feasible and appropriate, buffers should be utilized (such as landscaping or fencing) between park, recreation and open space lands and adjacent development to provide privacy and a physical separation between uses. Impacts, such as facility lighting, should be minimized.

b. Provide adequate park, recreation and open space areas and facilities that are accessible to different age groups and abilities.

c. Provide adequate support facilities such as parking, restrooms and staging areas as needed.

5.4.2 Maintenance of park, recreation and open space lands the CCSD owns or manages is the responsibility of the CCSD or its designated representative; however, the CCSD may lease park, recreation and/or open space lands to the County or other jurisdictions for maintenance and patrol consistent with CCSD operation and management policies. The CCSD should:

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<sup>14</sup> Only public nurseries are allowed that are used for restocking parks, open space and other public areas.



- a. Provide maintenance and monitoring of park, recreation and open space areas at regular intervals.
- b. Devise a program to have some maintenance costs of park, recreation and open space lands paid in part by uses on these lands.
- c. Utilize the assistance of volunteers, private individuals, user groups, organizations, businesses, and schools to help develop, operate, patrol, and maintain park, recreation, trail and open space lands or facilities, and to sponsor educational activities.
- d. Incorporate maintenance techniques which do not impact the scenic quality or resources onsite.
- e. Incorporate maintenance techniques that are compatible with adjacent uses and cost effective.
- f. Encourage new developments which provide public park, recreation or open space areas to clearly define uses and maintenance responsibilities on such lands prior to map or project approval by the County.

## **5.5 Joint-Use Agreements**

5.5.1 The CCSD may maintain park, recreation and/or open space lands or facilities for other jurisdictions (State, Federal, or County government) or other property owners if:

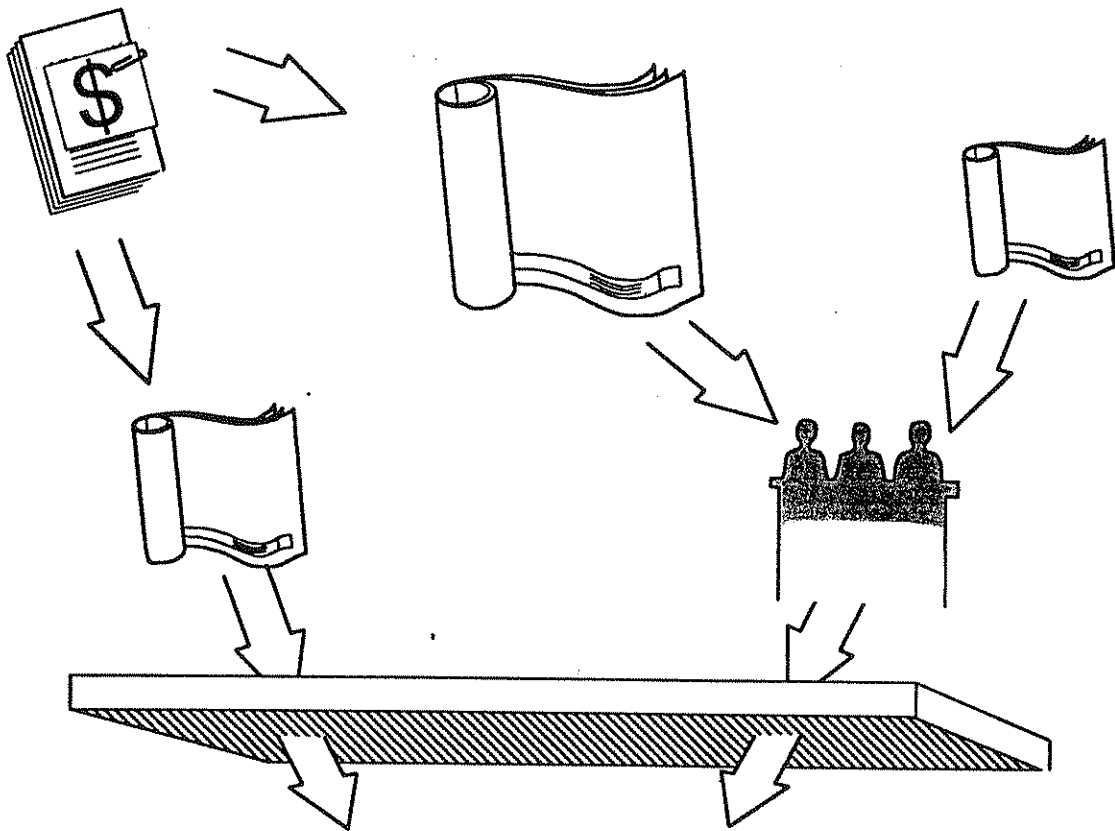
- a. Such lands are located near properties already administered by the CCSD, or the land is planned for community use by this Master Plan;
- b. The other jurisdiction and CCSD agree to land management policies including issues of public use and access under an agreement; and
- c. The maintenance and management costs for these lands are borne by the jurisdiction or property holder, or the CCSD determines it is in the best interest of the community to manage these lands and incur a portion or all of the cost of maintenance and management.

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## *Chapter VI*

# IMPLEMENTATION



## CHAPTER VI - IMPLEMENTATION

### Introduction

There are various methods for developing, protecting and maintaining park, recreation and open space lands and facilities. These options are not alternatives; rather, they are a menu of choices from which the CCSD can choose. Some of the methods presented, such as an assessment district may require voter approval. Others generate revenue (such as facility fees), while others involve developer regulations. Finally, some methods do not require any kind of tax or assessment measure, but rely on private initiative.

The CCSD, similar to many public agencies, has limited money available for park, recreation and open space purchases. The majority of park, open space and recreation lands and facilities have been provided by State and County government. These sources have not provided adequate park, recreation and open space facilities, and even in conjunction with developer incentives and similar programs it is likely adequate facilities will not be provided in the future. To provide a viable park, recreation and open space program, the CCSD must have at least one long-term funding source. This funding source would provide a method for facility acquisition and for the ongoing operation, maintenance and administration of lands and facilities acquired. Such a funding source provides local control and stability to a park, recreation and open space program, enabling the CCSD to act when land and/or facilities become available, and provides the CCSD a means to retain the community's quality of life.

This section establishes guidelines for implementing the CCSD's park, recreation and open space program.

**Goal 5: Structure an implementation program for achieving the policies of this master plan through a combination of public and private funds, regulatory processes, and innovative strategies.**

### 6.1 Funding Sources

#### **Objective:**

- A. Develop a multi-source financing program for park, recreation and open space acquisition and development.

#### **Implementing Policies:**

- 6.1.1 Utilize an array of funding and acquisition mechanisms as partially enumerated in Table 7 (see page 32).

- 6.1.2 Actively encourage private donations of land and funds by: (1) providing information to landowners regarding the value and techniques for resource conservation; (2) soliciting conservation easements from landowners whose property is designated park, open space, or recreation; and (3) providing landowners and developers with information regarding general tax advantages of donating land to nonprofit organizations and agencies, and the market value of conservation easements.
- 6.1.3 Pursue Federal and State matching funds for park, recreation and open space land or facility acquisitions.
- 6.1.4 Be fiscally conservative in acquiring and managing park, recreation and open space lands and facilities.
- 6.1.5 Pursue long-term source(s) of funding for park, recreation and open space acquisition such as a bond measure, special assessment district(s), or impact or property transfer fees. The text of any ballot measure should specify the percentage of monies that will be: (1) committed to park, recreation and open space acquisition, and (2) allocated for management and maintenance costs of such lands.
- 6.1.6 Only utilize this long-term funding source to preserve and maintain land and water areas that are consistent with the park, recreation and open space definitions provided in this document.
- 6.1.7 Work with the County, State, land trusts and other such organizations to augment the CCSD's options for park, open space and recreation acquisition and preservation. For example, once this Master Plan and a long-term funding source have been adopted, work with the County through joint use agreements to fund park, recreation and open space projects proposed in this Master Plan. Fund projects through joint ventures such as County and District fees, and have community organizations help finance projects through maintenance or monetary donations.
- 6.1.8 Require new development within the CCSD Service Area to provide park, recreation and open space lands or facilities consistent with this Master Plan via County and CCSD development conditions. Conditions placed on new development shall be reasonable and consistent with the nature and extent of such development plans.

## **6.2 Acquisition Criteria**

This section discusses when the CCSD should purchase property (either in fee, development rights, or through easements). The criteria listed below are to help the CCSD determine when park, open space and recreation funds should be used to obtain properties, portions of properties, or recreation facilities and under what priority. To qualify for CCSD purchase (in fee, development rights, or easements), the area or facility considered for purchase should be consistent with the criteria as noted in 6.2.1, 6.2.2 and 6.2.3 below.

**Objective:**

B. Use park, recreation and open space funds to provide priority projects.

**Implementing Policies:**

6.2.1 To be considered for acquisition a site must have value in one or more of the following categories:

- a. Valuable natural resources (such as sensitive habitat, unique resources, a creek corridor or similar habitat or resources).
- b. Important scenic qualities, cultural characteristics, or natural features (such as unusual terrain or locally important geologic attributes).
- c. Public health and safety concerns which make reasonable development on the property unlikely.<sup>15</sup>
- d. Good value as a parksite (in terms of location, terrain and acreage).
- e. Important active or passive recreation opportunities.
- f. Proximity to land that is already permanently protected as park, recreation and/or open space, or the property is close to land that is likely to be protected in the foreseeable future, thus forming or potentially forming a large area of park, recreation and/or open space lands or facilities.

6.2.2 A site that meets one or more of the criteria noted in 6.2.1 above, should have high priority for purchase if it meets one or more of the following criteria, and would be eligible for purchase under item 6.2.3 below:

- a. Development is currently being proposed which is inconsistent with this Master Plan and negotiations are not likely to result in a consistent project.
- b. The site has timely or attractive purchase considerations or conditions. For example, local cash contributions or additional land area is available.
- c. The site represents one of the last sections providing trail, habitat, park or recreation linkage.
- d. The site is of sufficient size that (1) resources are likely to remain intact even if adjacent properties are developed, (2) site development will not result in degradation of significant

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<sup>15</sup> The parcel should be large enough to contribute to Cambria's open space program. The District should not acquire numerous small parcels sporadically located which contain hazards and have no other value.

natural or local resources, and (3) if obtained as a park site, there is adequate land area to provide park facilities consistent with that park type (i.e., neighborhood, community, or regional).

- e. The site's purchase would maximize the effectiveness of acquisition expenditures. For example, providing a combination of important park, recreation and open space areas.
- f. The site will contribute meaningful community or neighborhood park or recreation. For example, feasible larger park or recreation projects should not be foregone for development of small, inconsequential projects (e.g., a mini-park should not be provided in a neighborhood which needs a neighborhood park and has or likely will have land available).

6.2.3 A site that meets the criteria noted in 6.2.1 and 6.2.2 above should generally not be acquired by the CCSD as park, open space and/or recreation if:

- a. The site or a reasonable portion of the site or resource can be obtained in a timely manner as a condition of County, State, or CCSD development approvals or agreements.
- b. The site's values are primarily scenic, but the property cannot be readily viewed by the general public.
- c. Adjacent properties are being developed in a way that is likely to significantly diminish the park, recreation or conservation values of the property in question.
- d. Management of the property will be very costly or management of an easement would be unusually difficult to enforce (such as multiple owners, fencing restrictions, or other considerations).
- e. The site cannot be acquired with reasonable effort in relation to its value or purpose. One property may be more valuable; however, all time and effort should not be expended on that site if other properties may be more easily obtained.
- f. The site is developed with facilities or structures that would not be consistent with this plan's definition of park, recreation and/or open space.

### **6.3 Fee Ownership, Easements or Purchase**

This section discusses when the CCSD should obtain fee ownership (either through purchase or dedication) versus easements. These criteria should be utilized when attempting to purchase property or easements as well as when private projects must dedicate property as part of their development conditions.

**Objective:**

C. Use acquisition methods which maximize the CCSD funds available.

**Implementing Policies:**

6.3.1 Generally obtain fee ownership for:

- a. Properties that may require or have frequent public access to the site or through the site.
- b. Lands for which buying the development rights is almost as expensive as obtaining the land in fee.
- c. Lands which contain delicate habitat requiring monitoring and enforcement.
- d. Land on which enforcing an easement will be difficult or costly.

6.3.2 Generally obtain an easement or development rights:

- a. For lands on which continuation of the underlying private use is compatible with its designation in the Master Plan and direct management by the CCSD is not required.
- b. To protect viewsheds or scenic resources that involve little or no public access.
- c. Where the cost of development rights is substantially less than fee ownership.

## **6.4 Acquisition Methods and Sources**

**Objective:**

D. Utilize a variety of methods to obtain park, recreation and open space lands and facilities.

**Implementing Policies:**

6.4.1 Obtain park, recreation and open space lands and facilities by a combination of methods. See Table 7 for a partial list of options.

## **6.5 Program Administration**

Parks and recreation personnel are necessary in order to provide, supervise and coordinate recreation programs; oversee the acquisition of property; develop and maintain Capital Improvements and facilities; and to write and administer grants. In order that successful park, recreation and open space programs can be developed, a minimum funding level is required. The majority, or baseline level, of funding would need to come from a reliable source such as an

<b>TABLE 7 METHODS TO OBTAIN PARK, RECREATION &amp; OPEN SPACE LANDS AND FACILITIES</b>	
<b>METHOD</b>	<b>EXAMPLES</b>
<b>DONATIONS &amp; SIMILAR METHODS</b>	<b>Donation.</b> In this case a landowner gives all or partial interest in his/her property to another entity (government, non-profit or another landowner).
	<b>Exchanges.</b> Public agencies or non-profit can exchange developable land for land with high park, recreation or open space value.
	<b>Surplus Property.</b> A government agencies may have surplus property inappropriate for their needs which could be transferred to a park, recreation or open space district for use.
	<b>Transfers (TDCs).</b> Under an established TDC program, an owner of publicly designated land can sell development rights to other landowners whose property can support increased density or square footage.
<b>GRANTS</b>	<b>Fundraising.</b> Money may be provided through foundations, corporations and community efforts.
	<b>State &amp; Federal Grants.</b> State and federal agencies may provide grants or matching funds for park, recreation and open space projects to local agencies.
<b>PUBLIC/ PRIVATE AGREEMENTS</b>	<b>Joint Use Agreement.</b> Is an agreement between two or more agencies to provide facilities or land area. School districts and park agencies commonly form joint use agreements to provide additional recreation areas for community use.
	<b>Joint Public/Private Development.</b> A developer and a government agency may form an agreement to provide a community service. For example, a developer may provide land and/or money for a municipal golf course. Without the developer's involvement the land costs may be too high for a local government to incur. The developer may receive a portion of the facility's revenue as payment for his/her initial investment.
	<b>Special Assessment District.</b> This fee is placed on an area or a community, basically those areas benefiting by new park, recreation and open space projects or facilities.
	<b>Bond Act.</b> In this case a community may borrow money through issuance of bonds. This a common way to provide funds for open space and parks. Bonds are usually approved through referendum on a local or statewide basis.
<b>REGULATION</b>	<b>Exaction.</b> As a condition of obtaining subdivision approval, local government requires developers to pay a fee or dedicate land for parks or open space.
	<b>Environmental Review.</b> As part of the California Environmental Quality Act (CEQA) a developer may be required to protect sensitive resources and provide needed community facilities (such as parkland, new roads, or a fire station).
<b>PURCHASE</b>	<b>Fee Simple.</b> Is outright purchase of full title to land and all rights associated with the land.
	<b>Easement or Development Rights Purchase.</b> In this case a partial interest in property is transferred to an appropriate nonprofit or governmental entity. As ownership changes, the land remains subject to the easement restrictions.
	<b>Bargain Sale.</b> A bargain sale includes part donation (by the property owner) and part fee simple sale. In this case the property is sold at less than fair market value.
	<b>Life Estate.</b> In this case the landowner may donate his/her property during their lifetime but has use of the property until an agreed upon time (such as the end of their lifetime).

Source: Regional Plan Association, the Trust for Public Land, and the National Park Service, *Tools and Strategies, Protecting the Landscape and Shaping Growth*, New York & Washington, D.C., April 1990.



assessment. After the department was operating for a few years, program fees and other funding sources would take on a larger role in assisting in funding the department's overall operations.

In order to have a successful program it is recommended a full-time Parks & Recreation Director and a half-time Recreation Aid be funded. Additional hourly personnel would be hired to supervise recreational activities as they come under District responsibility. A proposed budget is provided in Table 8. This budget provides a minimum level of funding which includes three primary revenue sources: an annual assessment on improved property, program fees for District-sponsored services and activities, and Public Facilities Fees for land acquisition and park development. These Public Facilities Fees would be in-lieu of County fees or be credited against County fees. The County currently charges the following Public Facilities Fees for Parks and Recreation: Single Family \$1426; Multi-family \$813. These fees are charged on each new residential structure built. As a result, the County should be collecting on average approximately \$95,000 annually from new construction within the CCSD boundaries based on the Growth Management limit of 2.3%.

**Objective:**

- E. Fund necessary program personnel to operate and maintain a Park, Recreation and Open Space Department.

**Implementing Projects:**

6.5.1 Establish a Parks, Recreation and Open Space Department under the Cambria Community

<b>TABLE 8 Parks, Recreation &amp; Open Space Preliminary Budget</b>		
<b>Expense</b>	<b>Defined</b>	<b>\$ Amount</b>
<b>Salary &amp; Benefits</b>	Employees	\$71,000
	Commission	\$2,000
<b>Operating</b>	Office Supplies	\$3,000
	Utilities	\$2,500
	Rent	\$4,200
	Insurance	\$10,000
	Maintenance/Repair	\$2,000
	Depart. Operating Expenses	\$15,000
	Travel & Training: Employees	\$500
	Commission	\$500
	Professional Services	\$1,000
	Debt Service - Land Acquisition	\$25,000
	Allocated Overhead	\$20,000
<b>(TOTAL OPERATING EXPENSES)</b>		<b>(\$156,700)</b>
<b>Capital Outlay</b>	Computer/Printer	\$3,000
	Office Furniture	\$1,000
	Recreation/Maintenance Equipment	\$5,000
<b>Capital Improvements</b>	Park Equipment/Improvements	--
	Trails Development	--
	Special Projects	\$10,000
<b>TOTAL EXPENSES</b>		<b>\$175,700</b>
<b>REVENUES</b>	Assessment	\$120,000*
	Program Fees	\$26,000
	Public Facility Fees	\$35,000
<b>TOTAL REVENUES</b>		<b>\$181,000</b>

\*\$36 assessment annually per residential parcel.

## Services District.

- a. Utilize a Maintenance Assessment District under the Landscaping and Lighting Act of 1972 (S&H Code Section 22500, et seq) to provide baseline funding for the Department.
- b. Establish a \$36 annual assessment per improved parcel to pay for a full-time Parks, Recreation & Open Space Director and half-time Recreational Aid, as well as other operating costs.
- c. Establish a goal of funding a minimum of 20% of the department's operational budget through program fees.
- d. Utilize Public Facilities Fees, grants and property retirement/dedication programs in conjunction with long term financing techniques to fund land acquisition and capital improvements identified in the Master Plan.
- e. Use a Transfer of Development Credit (TDC) program.
- f. Obtain funding from the County of San Luis Obispo to administer a Forest Management District. Funding would include Tree Cutting Permit Fees and Lodge Hill Erosion Control Fees.



# DEFINITIONS



## DEFINITIONS

**Active recreation** means recreation facilities typical of urban parks, including play fields (such as soccer or softball), school fields, a swimming pool, tennis courts, picnic areas (group and individual), golf courses and golf-related facilities, recreation resorts, community centers, and similar facilities.

**Bike Corridor** is a trail for bicycles provided within a park, open space or along a roadway.

**Community Park** is a park serving the community or numerous neighborhoods. A community park should be roughly 20 to 30 acres, and should contain developed park area as well as open space areas.

**Creek** is those waterways designated with a blue line on the USGS 7.5 minute quadrangle maps.

**Creek corridor** is that area of the creek between physical top of bank on one side of the creek and physical top of bank on the other side of the creek, or the area between the outer edge of the riparian vegetation on one side of the creek to the outer edge of the riparian vegetation on the other side of the creek (whichever is greater).

**Creek Setback** means the minimum distance development must be located from a creek's physical top of bank or the outer edge of the riparian vegetation (whichever is greater). An adequate creek setback should allow for future natural changes that may occur within the creek corridor and should mitigate flooding concerns.

**Cultural Resources** consist of prehistoric and historic archaeological deposits; structures of historic or architectural importance; and Native American traditional ceremonial, ethnographic and burial sites.

**Gateways** shall mean portions of the following roadways which are located within Cambria's Community Services District: Highway 1 (entering from the north and south) and Main Street (entering from the south).

**Goals** are very broad, often immeasurable statements of purpose.

**Hazards** include landslides and soil creep, flooding, potentially active or active earthquake faults, liquefaction areas, and wildland fires.

**Implementing policy** is a specific statement that guides decision making and suggests actions to be carried out in meeting objectives and accomplishing goals.

**Linear Park** is a park that is located along natural or built corridors (such as a creek or roadway

respectively). Such parks should provide adequate width to allow resource protection and recreation.

**Management Plan** is a document prepared by the CCSD or a CCSD designated representative which specifies the care and management of park and open space sites. This plan outlines resources existing on the site, resource preservation, allowed recreational uses, and other similar programs.

**Mini-Park** is a park serving a limited population or specific group (such as tots or senior citizens). A mini-park should be from 0.25 to 1 acre and should provide recreation for the population it is serving (as feasible).

**Multi-Use Trails** are trails which may be improved for pedestrians, bicyclists and/or equestrians according to appropriateness and need.

**Native plants** are those plant species present in California before the arrival of European explorers/settlers and indigenous to the Cambria area.

**Natural state** means similar to how it would be found in nature (not altered appreciably by humans). Providing an essentially natural state would allow (a) some non-native vegetation to remain, and (b) recreation (such as trails and viewing stations). Providing or maintaining an essentially natural state should not significantly impact site resources.

**North Coast Planning Area** extends from the Monterey/San Luis Obispo County Line on the north, to Point Estero on the south, and inland to the Coastal Zone boundary below the main ridge of the Santa Lucia range. The planning area includes the communities of Cambria and San Simeon Acres and encompasses approximately 92,000 acres (143 square miles).

**Objectives** are measurable goals, or a specific condition which is an intermediate step in accomplishing a goal. Several objectives may relate to a goal.

**Open Space** is land or water area which remains in a predominantly natural or undeveloped state. Such lands protect and preserve the community's natural and historical resources, define the urban boundary, and provide visual and physical relief from urban development. Open space may consist of small portions of a parcel or large tracts of land. Such lands may include creeks, marshes, watershed, and floodplains; scenic resources; plant and animal habitat; cultural resources; and passive recreation areas.

**Passive Recreation** means low-intensity recreational activities such as multi-use trails, bird watching, nature photography, nature study, and similar uses. Facilities may include trails (paved or dirt), individual picnic tables, benches, viewing platforms, interpretive areas, and similar uses depending on the sensitivity of the resource area.

**Physical Top of bank** means where the more eroded creek slope flattens to conform with the terrain not cut by water flow within the creek channel. If the bank is terraced, the highest step is the top of bank, not any intermediate step. In some cases where the top of bank is not apparent,

the top of bank on the other side of the creek, the extent of riparian vegetation, and the 100-year flood line (among other variables) will determine the top of bank location.

**Practicable alternative** shall mean (1) the project's basic purpose could still be accomplished either through a redesign or a reduction in massing, scale, or density, or (2) if changes are required to the project's design, scale, or density, reasonable use of the subject property could still occur. Reasonable use of the property in the case of new development may include less development than indicated by zoning. In the case of additional development on an already developed site, reasonable development may mean that no additional development is reasonable considering site constraints and the existing development's scale, design, or density.

**Programs** are actions which the CCSD intends to take in pursuit of its goals and policies.

**Private Open Space** is open area or park space utilized in a subdivision or private development for the use of onsite residents. Private open space is not considered park space.

**Regional Park** is a park serving several communities. Such parks provide both developed parkland and open space areas, and contain 100 to 200 acres. Regional parks may contain various recreation activities such as trails, sports fields, a golf course, camping and children's play equipment.

**Restoration** is the process of returning a resource to a more natural state. Restoration includes planting vegetation native to that area, removing wildlife barriers, removing debris and trash, removing invasive non-native plant species, and other similar activities. Restoration is not considered development.

**Riparian vegetation** means vegetation and habitat characteristic of creeks or their edge.

**Scenic Resources** are resources having high aesthetic qualities, such as hills and mountains; creeks and other wetland resources; areas containing major viewsheds or unique topography; and similar lands or areas.

**Sensitive Areas** are land or water resources which have significant scenic, cultural, or natural resources, including such resources as creek corridors and wetlands.

**Significant** means a substantial, or potentially substantial, adverse change in the environment (as defined by the California Environmental Quality Act [CEQA]).

**Standards** are a measurable rule establishing a level of quality or quantity that must be complied with or satisfied.

**Tot Lot** is play equipment for young children (typically toddlers).

**Trail Corridor** is a passageway used for alternative transportation. Within Cambria such corridors may be limited to pedestrians, bicycles and/or equestrian users.

**Transfer of Development Credit (TDC)** is a program that allows a landowner to transfer a property's development potential to another property. Such a program transfers development from a site where development is discouraged to a site where development is encouraged.

**Urban Reserve Line (URL)** is a San Luis Obispo County line delineating the extent of Cambria urban area (the area where urban development may occur). Cambria's URL encompasses approximately 1,916 acres available for urban land uses.

**Urban Services Line (USL)** is a line delineating the service area of the Cambria Community Services District (CCSD). Cambria's USL indicates the area to which urban services, particularly water and sewer, should be extended when available.

**Wetland** means an area where one or more of the following attributes exist:

1. At least periodically, in years of normal rainfall, the plants supported by the land are predominantly hydrophytes (thrive only in water or saturated soil).
2. The substrate is predominantly undrained hydric soil as defined by the United States Soil Conservation Service.
3. The substrate is nonsoil and is at least periodically saturated with water or covered by shallow water at some time during the growing season of each year in years of normal rainfall.

Where less than all three of the attributes specified above exist, delineation of an area as wetland shall be supported by the demonstrable use of wetland area by wetland associated fish and wildlife resources, related biological activity, and wetland habitat values.

**APPENDIX A**  
**SURVEY SITES**



### SURVEY SITES

The CCSD conducted a newspaper survey during the summer of 1992 to obtain community input regarding potential park, recreation and open space projects. The following sites were recommended by members of the public. If the site contains an asterisk, all or a part of this suggestion was included in the Master Plan.

SURVEY SITES			
NEIGHBORHOOD & GENERAL LOCATION	GENERAL AREA	REASON FOR PROTECTION & FACILITIES	In Master Plan
Lodge Hill, northeast corner Malvern & Mills.	2 + lots	Open space. Habitat, brush area for birds, wildlife. Possible trail and bench.	
Lodge Hill, extending from the south side of Mill St. to Ardath.	200' frontage on 2 + lots	Open space. See Above.	
Lodge Hill, southeast corner Malvern & Banbury.	11 lots	Open space or neighborhood park. Protect young pine/toyon forest & open space.	
Lodge Hill, Madison & Orlando	6 lots	Neighborhood park or open space. Protect open space and canyon drainage.	
Lodge Hill, west side of Ardath, Benson to Madison; East side of Ardath, Benson to Ogden; West side of Ardath, north of Benson.	Portions of APNs 23-067-17, 18; 23-068-10; 23-096-25	Open space. Protect forest and open space along Ardath Drive. Forest protection & open space especially old gnarled oak and restore site.	
Lodge Hill, Strawberry Canyon	Enough area for protection and trail.	Open space and trail. Protect native forest and provide public access trail.	*
Lodge Hill, north side of Ardath between Wilcombe and Pierce.	5 lots	Open space or small neighborhood park. Protect the large, old gnarled oak and pines.	
Lodge Hill, area owned by Land Conservancy on Ludlow Avenue.	2 lots	Open space. Protect as much of this old oak area as possible. Possible trail location.	*
Happy Hill, northeast corner of Warwick Street & Brighton.	1 lot	Open space or tiny neighborhood park.	
Between East Village and West Village along Main Street	Frontage in this area for trail.	Pathway or bikeway. Improve or develop a walkway along Main Street between East and West Village that is safe and comfortable for pedestrians.	*
Lodge Hill, northwest corner of Newport & Pierce	3 lots	Neighborhood park or open space. Protect forested area.	
West Village, roughly 110 feet on the north side of Sheffield starting at the east side of the parking lot.	Portion of parcel 022-211-072.	Downtown park in West Village.	
Happy Hill, along south side of Weymouth and north side of Warwick (between Covernty & Ashby).	APN 22-041-05, -14	Neighborhood park or open space. Protect forested area.	
Happy Hill, the corner of Suffolk and Northhampton	2 lots, APN 22-141-02	Neighborhood park or open space. Provides scenic view over West Village.	

## Cambria's Parks, Recreation &amp; Open Space Master Plan

SURVEY SITES			
NEIGHBORHOOD & GENERAL LOCATION	GENERAL AREA	REASON FOR PROTECTION & FACILITIES	In Master Plan
Lodge Hill, south side of Lyle from Richard to Stuart.	As much as possible	Neighborhood or community park or open space. The area contains magnificent views of the Santa Lucia Mountains.	
East Village, corner of Center Street and Burton Drive.	APN 013-263-007	Develop a East Village Park and visitor center.	*
Lodge Hill to Park Hill, East-West Ranch (Rancho Pacifica/Rancho Santa Rosa)	As much as possible.	Open space. Protect habitat, bluffs, wildflowers, native grasses, and restore forest (especially eastern corner of the ranch). Provide trails (views, forest, and bluff).	*
Lodge Hill, Fern Canyon, Land Conservancy holdings	Protect as much as possible.	Open space. Protect as much natural/native forest as possible. Also provide restoration through reforestation, elimination and reduction of invasive non-natives. Use for trails, nature study, and environmental education .	*
Lodge Hill, southeast side of Burton Drive up to Eton and Schoolhouse. Down to Village Lane.	Protect as much as possible.	Open space. Protect the native forest area. Could provide a safe walkway into East Village.	*
Lodge Hill, triangle block defined by St. James & Wales.	Block 219	Neighborhood park or open space. Protect resources.	*
West Village, Pinedorado Grounds	As much as possible.	Provide a grassy area, paths and park benches.	*
Park Hill, between Pembroke and Windsor or area between Santa Rosa Creek and Windsor (waste water treatment plant).	As much as possible.	Provide a pedestrian trail to the bridge.	*
Lodge Hill, Island surrounded by Ellis & Leonard.	Entire island area.	Provide open space or a neighborhood park with a playground.	*
Santa Rosa Creek	Creek bank area (length of town), Mid State Bank Property, area between trailer park and down hill.	Provide park with walking paths, pond, tables and benches.	*

**APPENDIX B**

**EXISTING PARK, RECREATION AND OPEN SPACE  
LANDS AND FACILITIES  
(PUBLIC & PRIVATE)**

Cambria's Parks, Recreation & Open Space Master Plan

EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)						
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
Cambria Community Services District (CCSD)	Veterans Memorial Building, Center	Corner of Main Street and Cambria Drive in West Village.	1.27 ac.	Events include art shows, exercise classes, health clinics, dances, receptions, music and staged events, and weekly farmer's market (parking lot).	Three various sized meeting rooms, kitchen, stage in main hall, American Legion Club House, restrooms, and parking area.	The facility serves as a community center. Used for recreation and meetings.
	San Simeon Creek, open space	Near the community of San Simeon, along portions of San Simeon Creek.	105 ac	Open space area and CCSD facilities.	Waste water and potable water facilities.	Open space, parks and recreation could be provided in this area. A joint use agreement with CDFPR could increase habitat protection as well as recreation opportunities.
San Luis Obispo County	Shamel Park, park	In the Park Hill Neighborhood, at the west end of Windsor Blvd. near Santa Rosa Creek.	6 acres	Swimming, children's play area, group and individual barbecue area, picnic facilities, a play field, and beach/nature walks.	Heated pool, walkways, tables, benches, miscellaneous outbuildings, restrooms, and parking.	The park is currently well developed with a variety of facilities and equipment. A seawall is planned by the County to protect park resources.
	Lampton Park, park	Southwest corner of Lampton Street and Windsor Blvd. South.	2 acres	Passive recreation, including picnicking, walking, sunning, beach and nature walks, and scenic appreciation.	Stairway to tidepools, walkways, tables, benches, parking and bicycle racks.	The park is primarily developed as a natural area. This site could be part of a trail connection.
	Cambria Library, Library	900 Main Street, in the West Village area.	0.17 ac.	Cambria's public library. Books, videos, compact discs and tapes available for the public. Story Time available for young children two days per week.	Library building, parking and bicycle racks.	Its location near other public facilities lends itself to a community center concept.
	Sherwood Drive, beach accesses	Accesses to the beach are provide along Sherwood Drive at the ends of Wedgewood and Harvey.		Beach access.	Beach access.	
	Pinedorado Grounds & Light-House Lens, Festival Grounds	990 Main Street, in the West Village Area	0.87 ac	Five day festival during labor day weekend.	False front buildings and historical lighthouse lens display (Piedra Blancas Lighthouse Lens).	This property is owned by the County but leased to the Lion's Club. The Lion's Club and other service groups use this site to raise money for their programs. A joint use agreement with this site could expand community recreation.

## Cambria's Parks, Recreation &amp; Open Space Master Plan

EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)						
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
San Luis Obispo County (continued)	Joslyn Adult Recreation Center, adult recreation center	950 Main Street, in the West Village area.	0.51 ac	The center offers a variety of recreation through club participation, such as dancing, cards, lawn bowls, garden clubs, meetings, fishing club, golf club, and computer classes.	Lawn bowls, meeting rooms, kitchen facilities, restrooms and parking.	The property is owned by SLO County; however, 1990 additions were built from funds from a local campaign. The facility is maintained by member funding. The center has potential as a community center.
	California Department of Parks and Recreation (CDPR) <sup>a</sup>	Leffingwell Landing, <sup>13</sup> park	North end of Moonstone Beach Drive, near Highway 1.		Trails, picnicking, barbecues, and benches.	Trails, picnic tables, barbecues, information board, restrooms, a ramp for boat launching and parking.
Moonstone Beach Drive, <sup>b</sup> trails		Along Moonstone Beach Drive and the ocean frontage.		Pedestrian trails along the ocean frontage.	Pedestrian trails and benches.	Overlooks Moonstone Beach area. Highly eroded bluffs.
Santa Rosa Creek, <sup>b</sup> open area		South end of Moonstone Beach Drive.	30 ac.	Beach access and scenic appreciation.	Benches, information board, beach access, solar electric restrooms and parking.	
Nottingham Bluffs, <sup>b</sup> open areas		Two locations, one is located at the western end of Plymouth (west of Nottingham Drive). The second is located at the western end of Dorset and Leighton streets (west of Nottingham Drive).	3 ac	Trails and scenic appreciation.	Trails, benches and beach access.	
Santa Rosa Natural Preserve, <sup>b</sup> open space		Portions of Santa Rosa Creek west of Highway 1.	25 ac.	Protected open space.	No recreation facilities.	This area is protected for habitat purposes.

<sup>a</sup> Source: California Coastal Commission, *California Coastal Access Guide*, University of California Press, Berkeley, 1991.<sup>b</sup> This facility is a day use area and is part of the San Simeon State Park.

Cambria's Parks, Recreation & Open Space Master Plan

EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)						
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
School District	Cambria Grammar School, school	1350 Main Street, midway between East and West villages.	5 ac.	Indoor and outdoor recreation currently available for school children during school hours. During the summer the facilities are closed and maintenance is performed.	Playfield, hard court, baseball field, <sup>c</sup> indoor auditorium, boy scouts and girl scouts, after school programs. Special events can be scheduled in the auditorium.	If the grammar school should ever relocate, this site should be considered for a community center. <sup>d</sup> In any case, a joint-use agreement should be pursued.
	Santa Lucia Middle School, school	2850 Schoolhouse Lane.	9.90 ac.	Indoor and outdoor recreation currently available for school children during school hours.	Gym, courts for basketball, tennis, volleyball, field for soccer, softball and football, etc. Barbecue area for school functions.	A joint use agreement should be pursued to augment indoor and outdoor recreation opportunities for the community.
	Coast Union High School, school	2950 Santa Rosa Creek Road	40 ac.	Indoor and outdoor recreation currently available for school children during school hours.	Fields (football and baseball), four lighted tennis courts, gym and handball court.	A joint use agreement should be pursued to augment indoor and outdoor recreation opportunities for the community.
	new elementary school, school	Within the developed area of East-West Ranch. Exact location unknown at this time.		Indoor and outdoor recreation will be provided for school children.		Plans for the school are being pursued at this time. A joint use agreement should be pursued to augment indoor and outdoor recreation opportunities for the community. If possible, the school's recreation facilities should be planned with park facilities in that area.

<sup>c</sup> Not regulation size.

<sup>d</sup> The grammar school is not considering relocating at this time.

Cambria's Parks, Recreation & Open Space Master Plan

EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)						
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
Private, Andy Anderson	Andy's Garden, park	Corner of Guildford and Worcester on Park Hill.	0.12 ac.	Landscaping, benches, and lawn area.	Turf area, landscaping and benches.	This is a small neighborhood garden area, privately owned and beautifully maintained by Andy Anderson. Public access is permitted.
Private, City of Coalings, Huron Parks and Recreation Department	Camp Yeager, visitor camping	Northern end of Ashby, in the Happy Hill Neighborhood.	13.36 ac.	Camping, meeting rooms and various outdoor recreation.	Miscellaneous buildings, meeting rooms, camping facilities (cabins), and outdoor recreation.	Existing and potential facilities and location make this a prime site for a joint-use agreement with CCSD.
Private, YMCA (Camp Ocean Pines)	YMCA, visitor camping	Within Rancho Marino, at southernmost boundary of Cambria.	13 ac.	Camping, meeting rooms, and various outdoor recreation.	Miscellaneous buildings, meeting rooms, camping facilities (cabins), and outdoor recreation (such as an archery range, horseshoe pits, crafts lodge, volleyball and tetherball).	Existing and potential facilities make this a prime site for a joint-use agreement with CCSD.
Private, Cambria Pines Lodge	Cambria Pines Lodge, Lodge	2905 Burton Drive in the Lodge Hill neighborhood.	25 ac.	Swimming, weight lifting, meeting rooms, community gatherings, etc. available to the public for a fee. Trail and stairway available down to Santa Rosa Creek and downtown East Village.	Indoor swimming pool, weight room, grounds, meeting rooms available to the community for a fee.	This site primarily functions as a lodge; however, community recreation is offered through a monthly membership. The Lodge should be considered for a joint use agreement to provide additional indoor recreation.
Private, SLO Land Conservancy (Non-profit)	Open Space Program (TDC)	Primarily in Fern Canyon.	~4 ac.	Open space.	Open space.	The Land Conservancy operates a TDC program. The CCSD should develop their own TDC program or work with the Land Conservancy to provide passive recreation on open space lots managed by the Land Conservancy.

Cambria's Parks, Recreation & Open Space Master Plan

EXISTING PARK, RECREATION AND OPEN SPACE LANDS AND FACILITIES (PUBLIC & PRIVATE)						
Jurisdiction	Name & Type of Facility	Location	Parcel Size	Events/Recreation	Facilities	Comments
Private, Art Beal Foundation	Nit Wit Ridge, private development	881 Hillcrest Drive.	0.61 ac.	Private development.	Private development.	This site is a historical landmark. The historical walk through Cambria should include this site.
Private, Catholic Church	Santa Rosa Catholic Church, Church	2353 Main Street.	2.40 ac.	Church activities.	Church facilities.	This site is a historical landmark. The historical walk through Cambria should include this site.
Private, Youth Center	Cambria Youth Center, indoor recreation	870 Main Street	0.50 ac.	Youth activities including pool, ping pong, basketball, video games, music, monthly dances, and annual trips.	Outdoor cement basketball court, meeting hall and rooms, and kitchen.	Parcel also contains the old Santa Rosa School (now an art gallery).
Private, Gym.	Cambria Athletic Club, indoor recreation	1235 Knollwood Drive	2,500 s.f. <sup>d</sup>	Physical therapy and indoor recreation (gym, weight room, exercise machines, step aerobics, yoga, and stretch classes).	Weights, treadmill, nordic track, rooms for aerobic and other exercise classes.	Recreation is available through lifetime and month to month memberships.

<sup>d</sup> Represents the facility size.



**APPENDIX C**

**SUMMARY AND DESIGN COMPONENTS OF  
PARK, RECREATION AND OPEN SPACE PROJECTS**

Cambria's Parks, Recreation & Open Space Master Plan

SUMMARY OF PARK PROJECTS					
Park Name or Type	Map Id. #	General Intent	Components		
			Park	Recreation	
Open Space					
Santa Rosa Creek Parkway	1	A linear park extending from Coast Union High School to Shamel Park along portions of Santa Rosa Creek. This park would be developed in phases.	Primarily that area outside the creek corridor. Provide landscaping for park-like setting as necessary.	Along the linear park provide a multi-use trail. Recreation may include periodic placement of benches, tot lots, viewing stations, and other recreation.	The creek corridor (which includes riparian vegetation) should be protected as open space. Trails, bridges, interpretive displays and viewing stations may periodically encroach into the creek corridor to provide community resource appreciation and education, and park and trail access.
Coast Union High School Community Park	2	A community park provided adjacent to Coast Union High School. Add additional area for picnic and open play as well as active recreation.	Twenty to thirty acres including school outdoor recreation area. Provide landscaping for park-like setting as necessary. This would be a more active facility park.	In new acreage provide picnic facilities (group and individual), play areas, tot lot and/or play equipment. On new acreage or school site (with joint use agreement) provide additional recreation facilities such as a soccer field, basketball and tennis courts, etc.	
Rodeo Grounds Road Community Park	3	A community park provided in the vicinity of Rodeo Grounds Road and Highway 1.	Twenty to thirty acres. This park may tend to be more passive. The park should be linked to the Santa Rosa Creek Parkway.	Should include trails, benches, individual and group picnic areas, and some active recreation.	
Neighborhood & Mini Parks	--	Within each neighborhood provide neighborhood or mini-parks (as feasible).	Consistent with the standards contained in this Master Plan.	Consistent with the standards provided in this Master Plan.	Protect significant open space resources allowing limited appropriate passive recreation (such as viewing stations, trails and benches) in these areas (depending on the resource).
	4	Within the East Village downtown create a mini-park or museum.	Limited park facilities, contain potentially a structure (possibly historic) and passive recreation.	Develop a visitor's map outlining a historic walk through Cambria. Involve local groups.	Open space resources in the downtown area may be included in the historic walk. The history component would be how these resources played a part in Cambria's development.
Cambria Regional Park	5	Provide a regional park within the Cambrian area.	This park should contain approximately 200 acres. The park may be built in phases, with the first phase a community park.	May include such facilities as a golf course, trails, tennis courts, open air theater, environmental center, picnic areas, and play equipment.	See above.
Cambria Municipal Golf Course	39	A golf course should be located within close proximity of the Cambria community.	The golf course may be located in close proximity to the regional park in order for joint use of facilities and infrastructure.	Onsite or municipal services and infrastructure should be readily available. Site considerations should include appropriate terrain and parcel size conducive to a golf course layout.	Protect significant natural resources.

Using the map identification number indicated, see the map on page 22 for the project's general location.

Cambria's Parks, Recreation & Open Space Master Plan

<b>SUMMARY OF PARK JOINT USE PROJECTS</b>				
<b>Joint Use Agreement With:</b>	<b>Map Id. #<sup>a</sup></b>	<b>Specific Facility</b>	<b>Components</b>	
			<b>Park</b>	<b>Recreation</b>
<b>Open Space</b>				
<b>Schools</b>	6	Coast Union High School	See Coast Union High School Community Park on page C-2.	
	7	Santa Lucia Middle School	Provide community utilization of school facilities. As possible, obtain land around the school for a neighborhood park.	Provide active and passive recreation typical of the type of park created. Provide connecting trails as feasible.
	8	Cambria Grammar School	Provide community utilization of school facilities. If the school relocates pursue this site as a community park or center.	
	9	Future School Facilities	Design a neighborhood or community park as a part of any new school facility and arrange for joint use of school facilities.	
	10	Camp Yeager	Provide community utilization as appropriate and if possible a neighborhood park.	See above.
<b>Public or Private Agencies</b>	11	YMCA Camp (Camp Ocean Pines)	Provide community utilization as appropriate.	Provide trail connections, active and passive recreation as feasible.
	12	State Lands	Provide additional land, support facilities and vegetation as deemed necessary by the community.	Provide trail connections and passive recreation as feasible.
	13	County Parks	Provide additional facilities or improvements as deemed necessary by the community.	Provide trail connections, passive and active recreation as deemed necessary by the community in conjunction with County Parks.
	14	Andy's Garden	Support Andy's efforts to maintain this site as a mini park.	Provide recreation consistent with Andy's goals when they benefit the community. If the park is transferred to the CCSD, provide recreation consistent with neighbor wishes.
	40	Pacific Pines Homeowner's Association	Consider additional facilities or improvements as deemed necessary by the community in conjunction with the Pacific Pines Neighborhood.	Consider trail connections, passive and active recreation as deemed necessary by the community in conjunction with the Pacific Pines Neighborhood.
	--	Other Facilities	Consider neighborhood churches and other private or public facilities that may be able to provide park and recreation opportunities. If meaningful park or recreation opportunities can be provided, establish a joint use agreement with such facilities.	Provide resource appreciation in passive areas consistent with neighborhood park guidelines.  Provide resource appreciation in passive areas as feasible. This may be as simple as a scenic resource viewing area.

Using the map identification number indicated, see the map on page 22 for the project's general location.

Cambria's Parks, Recreation & Open Space Master Plan

SUMMARY OF TRAIL PROJECTS			
Trail Name	Map Id. # <sup>a</sup>	Connecting	Design Comments
Sibley Ranch Trail	15	<p>a. <u>Sibley Ranch</u>. Lampton Park with the YMCA Camp and the Strawberry Canyon Trail.</p> <p>b. <u>Sibley Lake &amp; Ridge Trail</u>. As a first priority provide a trail connecting the YMCA Camp with Sibley Ranch Lake. Consider extending this trail toward the former Air Force Station and eventually to Highway 1.</p>	Provide a multi-use trail. Any landscaping along the trail should be native plants.
Santa Rosa Creek Trail	16	Coast Union High School with Shamei Park.	Provide a multi-use trail. The trail should primarily stay outside the Santa Rosa Creek corridor; however, access within the setback may sporadically occur to provide public education, trail access over the corridor, and to utilize existing alterations (such as roadways). This trail should be developed in conjunction with the Santa Rosa Creek Parkway, and should be developed in phases.
Strawberry Canyon Trail	17	Randall Drive to Burton Drive through Strawberry Canyon.	Provide a multi-use trail. Any landscaping along the trail should be native plants. The trail may be developed as part of an open space or park corridor.
Ramsey Trail	18	Ramsey Avenue with the Santa Rosa Creek Trail or park in that area.	Provide a multi-use trail located near Highway 1.
Moonstone Beach Trail	19	Highway 1 and the Santa Rosa Creek Trail.	Provide a multi-use trail along the road right-of-way of Moonstone Beach Drive.
East-West Ranch Trails	20	Neighborhoods (i.e., Park Hill, Marine Terrace and Lodge Hill), proposed parks, open space, and school.	Provide a multi-use trail. Trails may be developed as an open space or park corridor.
North-East Cambria Trail	21	The Leimert Tract and C.T. Ranch with Camp Yeager, northern neighborhoods (i.e., Happy Hill and Pine Knolls), and Bridge Street.	
Valley View Trail	34	Provide a trail connecting Gleason Street to Preston Street.	Provide a multi-use trail.
Santa Lucia Trail	35	Provide a trail connecting Santa Lucia Middle School to the Santa Rosa Creek Trail.	
Cambria Loop Trail	36	Provide a trail connecting Camp Yeager to San Simeon State Park. This trail should include a connection to the Moonstone Beach Trail near the Hamlet Restaurant as well as a connection to CCSD property located along San Simeon Creek.	
Fern Canyon Trail	41	Provide a trail connecting Ardath Drive to Highway 1 and Highway 1 to the East-West Ranch trail near Trenton Drive.	
Pine Street Trail	42	Provide a trail connecting Pine Street to the Santa Rosa Creek Trail.	

<sup>a</sup> Using the map identification number indicated, see the map on page 22 for the project's general location.

SUMMARY OF RECREATION PROJECTS			
Recreation Project	Map Id. # <sup>a</sup>	Augment Recreation Opportunities By:	Intent
Joint Use Agreements	22	Developing cooperative agreements with the school district, the YMCA Camp, Camp Yeager, CDPR, the County, Joslyn Center, Youth Center, former Air Force Station, local utilities, Cambria Pines Lodge and other similar agencies.	Provide community indoor and/or outdoor recreation that benefits the community.
One Large Community Center Within Cambria	--	As a first priority, upgrading the Veteran's Center and joint-use agreements with other community facilities.	Provide community indoor recreation and cultural facilities.  Facilities should be large enough to accommodate 200 to 300 people, provide adequate indoor recreation space that may also be utilized for events (such as weddings, art shows, and performing arts). Such facilities may also be used to consolidate existing public facilities (such as the library and adult education). Centers should be obtained through community monies, private donations, and similar methods.
	--	As a second priority, obtaining existing facilities that have good indoor recreation opportunities.	
	---	As a third priority, obtaining new centrally located facilities for indoor recreation.	

<sup>a</sup> Using the map identification number indicated, see the map on page 22 for the project's general location.

## Cambria's Parks, Recreation &amp; Open Space Master Plan

SUMMARY OF OPEN SPACE PROJECTS			
Open Space Project Location	Map Id. # <sup>a</sup>	General Intent	Recreation Component
Santa Rosa Creek Corridor	23	Protect valuable habitat, important scenic values and reduce public safety concerns related to flooding along the Santa Rosa Creek corridor from Coast Union High School to Shamel Park.	Generally located outside the creek setback although the Santa Rosa Creek trail, trail crossings and viewing platforms may sporadically be located within the creek setback area.
Fern Canyon (Under TDC Program)	24	Protect valuable habitat, forest lands, and scenic values.	Passive recreation such as viewing platforms, benches and trail connections.
Pine Knolls (Sheffield Canyon)	25	Protect valuable habitat, forest lands, and scenic value.	
East-West Ranch	26	<b>Forest Lands.</b> Protect forest lands (located in the property's southeast and south central sections) and associated habitat areas.	
	27	<b>Ocean Shoreline &amp; Open Space Corridor.</b> Protect marine habitat, scenic value, and provide an open space buffer between future development and the shore.	Passive recreation such as viewing platforms, benches and trail connections. Some active recreation may be appropriate such as play equipment, etc.
Vacant Parcels Adjacent to East-West Ranch (Located west of Trenton Drive and east of East-West Ranch)	28	Protect native forest lands and associated habitat.	Passive recreation such as viewing platforms, benches and trail connections.
Forested Canyon Between Burton Drive & School House Lane (Near Lucia Middle School)	29	Protect forest area and habitat.	
San Simeon Creek Area	30	Protect the creek corridor and sensitive habitats.	
CT Ranch Incorporated (Forest Lands)	31	Protect native forest lands and associated habitat.	Passive recreation such as viewing platforms, benches and trail connections.
Strawberry Canyon	37	This site is located in the Lodge Hill Neighborhood. All or a portion of Strawberry Canyon should be set aside as open space to protect Monterey pine habitat and provide trail access from Randall Drive to Burton Drive.	
Ramsey Drive Area	38	This site is located between Highway 1 and Ramsey Drive. Portions of this site have been protected through a Transfer of Development Credit Program sponsored by SLO County. Open space in this area would protect Monterey pine habitat, provide a buffer between Highway 1 and adjacent development to the east (visual and noise), and provide a corridor for neighborhood access to the Santa Rosa Creek Trail.	

<sup>a</sup> Using the map identification number indicated, see the map on page 22 for the project's general location.

**APPENDIX D**

**POTENTIAL PARK AND/OR OPEN SPACE SITES**

<b>POTENTIAL PARK AND/OR OPEN SPACE SITES</b>	
<b>NEIGHBORHOOD &amp; GENERAL LOCATION</b>	<b>COMMENTS</b>
Lodge Hill, Northwest of the Pineridge/Bradford intersection.	The San Luis Obispo Land Conservancy owns APN 024-273-006 which could serve as the start for a neighborhood mini-park or open space. Potential for expansion.
Lodge Hill, section in the middle of the block on the east side of Richard Avenue (between Bradford & Merlyn).	Owner has offered to donate retired parcel APN 024-272-003. Consider as nucleus of neighborhood mini-park/open space site. Potential for expansion.
Lodge Hill, parcel northeast of the Rodman Avenue/Dorking Avenue intersection (on Dorking Avenue).	Owner has offered to donate retired parcel APN 024-031-023. Consider as nucleus of neighborhood mini-park/open space forested habitat. Potential for expansion.
Lodge Hill, parcels located south of Roscoe on Pickwick.	The San Luis Obispo Land Conservancy owns APN 024-301-004. This grassy site could serve as the start for a neighborhood mini-park or open space. Potential for expansion.
Lodge Hill, Ludlow Avenue	The San Luis Obispo Land Conservancy owns APN 023-332-023. This site could serve as the nucleus of a neighborhood mini-oak forest habitat. Potential for expansion.
Lodge Hill, block of land surrounded by Ellis & Leonard	This partially forested lot could serve as a neighborhood mini-park or open space.
Lodge Hill, block of land surrounded by St James & Wales	This lot (# 219) could serve as a neighborhood mini-park or open space.
Lodge Hill, Cowper & Haddon	This lot (a portion of lot 59) could serve as a neighborhood mini-park or open space.
Lodge Hill, north of MacLeod Way	This lot or a portion could serve as a neighborhood mini-park or open space.
Lodge Hill, north end of School House Lane.	This area could serve as a neighborhood mini-park.



**APPENDIX E**

**PARK, RECREATION & OPEN SPACE MASTER PLANS OR  
MANAGEMENT PLANS**

### **Master Plans and Management Plans**

Master Plans or management plans for park, recreation and open space sites should address the following:

- a. Planned recreation facilities and community education that will be provided. Park, recreation and open space master plans should plan for trail linkages and provide for adequate support facilities (such as parking, restrooms and staging areas).
- b. Proposed and existing landscaping. Landscape plans should indicate proposed landscaping, existing landscaping that will remain, and existing landscaping that will be removed. In natural or open space areas primarily native vegetation should be utilized and invasive non-natives should be avoided (such as vinca major and eucalyptus). Landscape plans should emphasize water conservation and limited maintenance. Plantings should soften site alterations.
- c. Resource protection. Park, recreation and open space master plans should address how significant community resources will be protected and/or guidelines for their protection (as necessary). Restoration and public access limitations should be addressed if they are necessary,
- d. Site alterations and public safety concerns. Site alterations would include grading and other changes to the topography. In open space areas, site alterations should be minimal unless they are proposed to restore a site. In addition, park, recreation or open space development or maintenance should not cause or make worse natural hazards (such as erosion, sedimentation, flooding or water pollution).
- e. Law enforcement, fire safety and other public service issues. Responsibilities should be addressed in the master plan or park plan. Policies may be tailored to each area. Fire safety and law enforcement concerns may require (a) closing certain areas to the public during certain times, (b) reducing fuel loads after careful consideration of alternatives, and (c) encouraging property owners living adjacent to park, recreation and open space areas to assist providing some protection.

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*CAMBRIA'S*

**PARKS, RECREATION  
& OPEN SPACE**

*MASTER PLAN*



Prepared for the  
Cambria Community Services District

*Adopted*  
*November 21, 1994*





# *Chapter I*

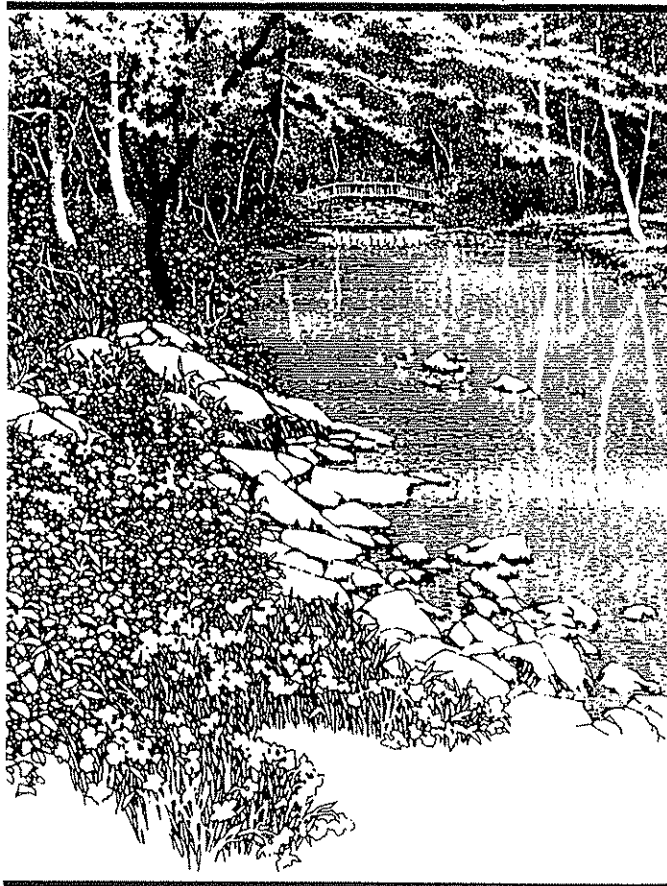
## **INTRODUCTION**





*Chapter II*

**PARKS & TRAILS**

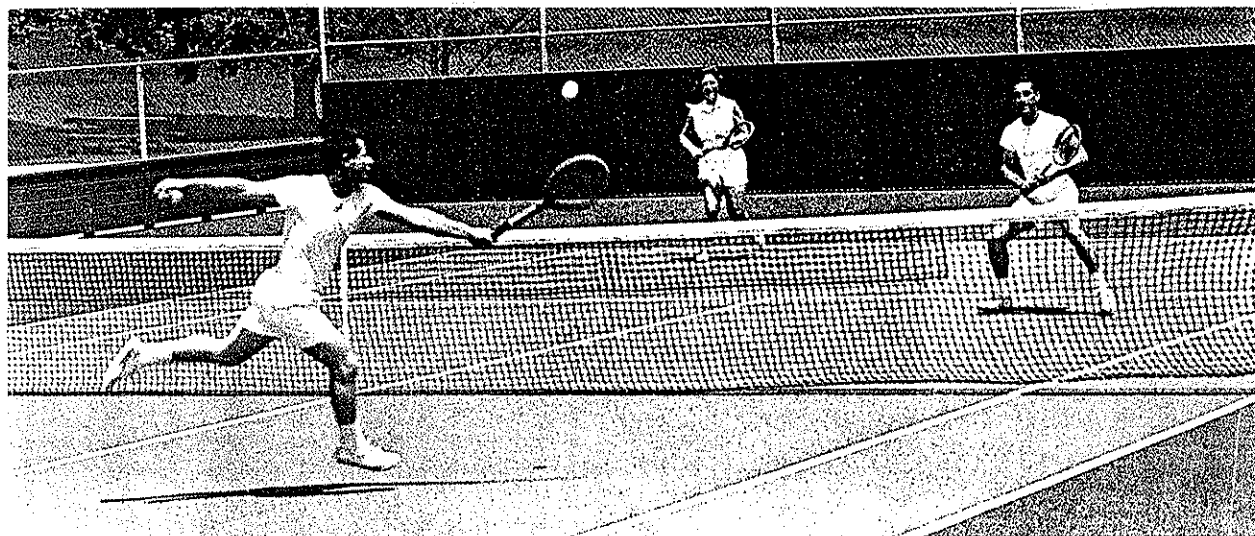


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*Chapter III*

**RECREATION**





*Chapter IV*  
**OPEN SPACE**

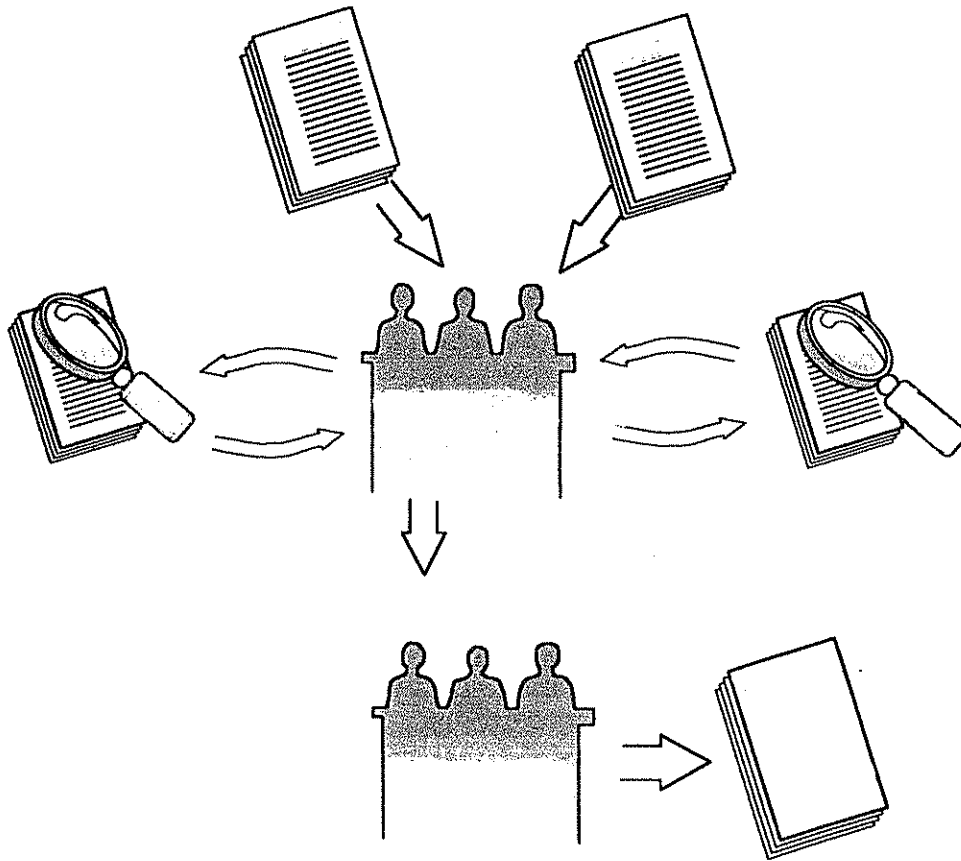


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# Chapter V

## MANAGEMENT

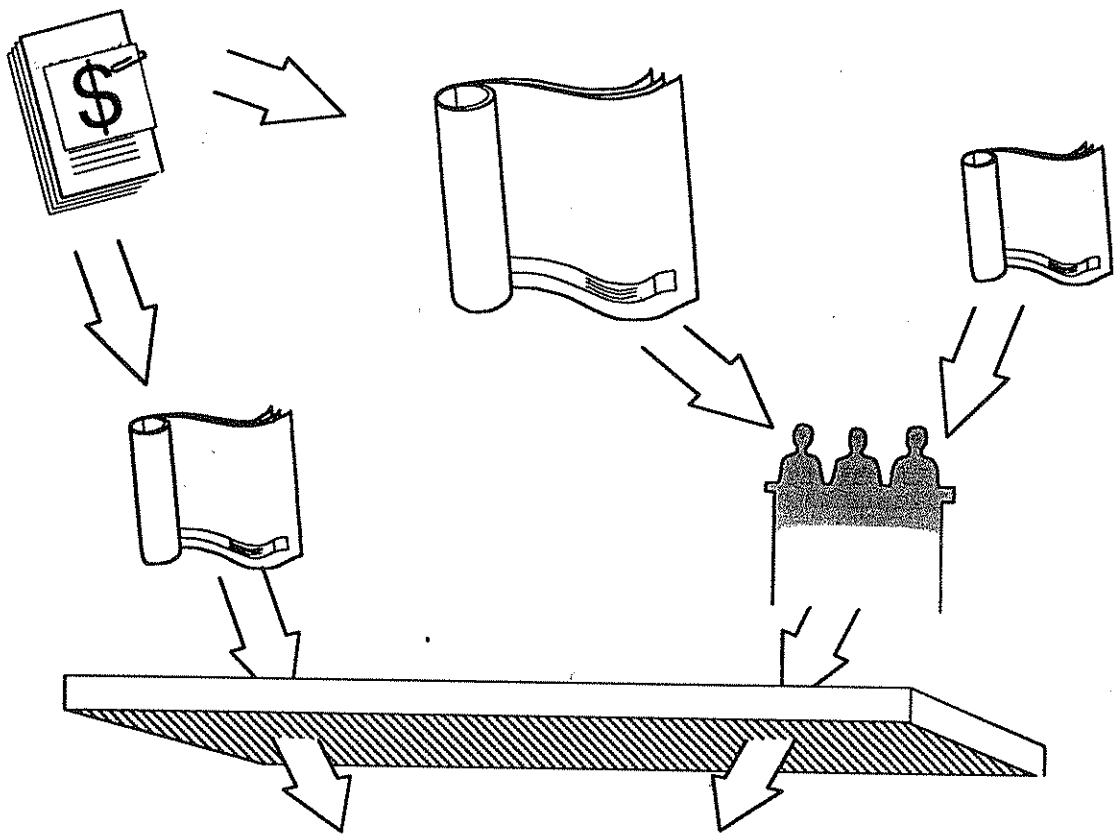






# *Chapter VI*

## **IMPLEMENTATION**





# DEFINITIONS



## CAMBRIA COMMUNITY SERVICES DISTRICT

TO: Parks, Recreation and Open Space Commission

AGENDA NO. **5.B.**

FROM: John F. Weigold, IV, General Manager

Meeting Date: November 2, 2021

Subject: Receive Update and Discussion and  
Consideration of the Skate Park Design**RECOMMENDATIONS:**

Staff recommends that the Parks, Recreation and Open Space (PROS) Commission receive an update and discuss and consider the Spohn Ranch Skate Park Design.

**FISCAL IMPACT:**

This is a multi-year project which is budgeted in the General Fund – PROS Department at \$7,215, funded with General Fund reserves.

Based on the Cambria Community Services District (CCSD) Board's direction in proceeding with the next phase of the Skate Park project, a future budget adjustment may be required.

**DISCUSSION:**

Spohn Ranch has refined its design plan following guidance from the PROS Commission and the Cambria skating community and presented their final report to the CCSD Board during a Special Meeting on Saturday, October 30, 2021.

During the October 30th, Special Board Meeting, the CCSD Board accepted the Spohn Ranch Design Report and received an outline of the County permit process and requirements. As a final action of the Special Meeting, the CCSD Board directed the Skatepark Design Report to the PROS Commission for its review and recommendation regarding the information presented.

**The Motion: PROS consider, evaluate and bring back to the Board a recommendation related to the skatepark design and where it should be sited.**

During Board discussion, several Directors had suggested various areas for consideration by PROS during its review process. Although not part of the motion, these may be used for points of reference during the requested evaluation.

- a. PROS is not being asked to determine or answer how the skatepark is funded.
- b. Setting aside potential additional costs, review the exemptions and waivers needed and requirements outlined in the permitting process and consider the practicality of options offered in the Spohn Ranch presentation and District Engineer Dienzo's presentation.
- c. Determine any possible maintenance areas beyond the general visual and hardscape maintenance of the site itself (e.g., storm water swale, retention basin, and piping)
- d. Review areas designated as TBD in the Spohn Ranch Report for potential areas of impact; identify the unknowns

- e. What costs are site specific for location
- f. Reasonableness of cost estimates
- g. Need for contingency incorporation
- h. Active discussion between PROS and SkateCambria in review process
- i. Levels of CCSD Staff in Project Management
- j. Time to Completion (when available for use)

Attachments: Cambria Skate Park Feasibility Report  
Spohn Ranch Board Meeting Presentation  
CCSD District Engineer Board Meeting Presentation

## **Cambria Skatepark Feasibility Report**

**APN: 013-101-072**

10/27/21

### **OVERVIEW - APN 013-101-072**

OWNER - Cambria Community Services District (CCSD)

ADVISORY COUNCIL - North Coast Advisory Council

LEGAL DESCRIPTION 001.42AC VACANT

PLANNING AREA(S) - North Coast Planning Area, Coastal Zone

ZONING – Commercial/Recreation

LAND USE DESIGNATION - Commercial Retail

COMBINING DESIGNATIONS - Local Coastal Program, Geologic Study Area,  
Archaeologically Sensitive Area, Flood Hazard,

PLANNING AREA STANDARDS - 22.14.070, 23, 23.070.176, 66474.02, T23 CZLUO,  
T23 North Coast

PARCEL FLAGS AS - Archaeologically Sensitive Area, CR - Commercial Retail, CSC -  
Coastal Special

### **Introduction**

Several years ago the Cambria Community Services District (CCSD) and the community of Cambria collaborated to build a skateboard park on a district-owned property on Main St. across from the Vet's Hall and northwest of the Cambria Public Library. As the park has since been removed, a shared effort is underway to raise funding and rebuild a park in the same location. To help realize that goal the District contracted Spohn Ranch Skateparks to create a conceptual design concept, site plan and budget for a cast-in-place concrete skatepark. CCSD is also interested in an overview/feasibility report to determine if there are any issues that could arise that could block development or have a negative impact on construction costs.

### **Project Description**

Overview of the proposed skatepark development: Consisting of an undulating concrete deck designed for skate and bike specific use, of approximately 6000 sf. situated partially in-ground and partially above-grade. Final elevations will be established based on a balance of cut and fill. Excess soil generated during excavation (cut) will be reused (as fill) to establish other above-grade pads and sculpted skate elements. The lowest depth of in-ground elements also needs to be calculated to provide gravity flow drainage to a stormwater retention system. Stormwater is proposed to be captured and dispersed on site using an infiltration retention basin according to County planning standards.

### **Conceptual Planning Process**

The Spohn Ranch process is to engage the community, gather information, develop a conceptual design and corresponding budget, and a site plan illustrating the layout and function for a new proposed concept in the same location of the previous skate spot.

To date we have conducted a public design workshop, a topographical survey, a soils test and infiltration study, and engaged a civil engineer to create a preliminary grading, drainage and stormwater management plan. We have also developed a site plan and conceptual course design to establish the cost and feasibility of building the replacement park. Cost estimates based on this type of cursory planning process have a larger +/- variable than in a more detailed process but we have tried to be as exact as possible. We have also tried to not be too reactionary to the current overheated construction marketplace and supply chain limitations. Ultimately, the timing of the project delivery will dictate a lot about final project costs. Also, the permitting process with the County of SLO Planning and Public Works is complicated and will require a lengthy submittal, review and approval process.

### **Key Development Issues**

The question is always asked, "How much is the skatepark going to cost?" While there are many factors that can and will affect cost, the two items that can have a large cost impact are earthwork and drainage. If soil conditions are poor and need to be treated or fill material imported or exported, or if stormwater management requires a complicated system for capturing, conveying and dispersing runoff, costs can quickly escalate beyond the simple costs of the course itself. One of the distinct features of this location is its position between an active thoroughfare and the base of a bluff.

Due to the site's unique features and in the interest of establishing an accurate estimate of cost, we engaged several outside engineering firms to conduct studies and help determine the best methods for site development, including grading and drainage.

- GB Land Surveying - Topographic Survey
- GeoSolutions - Soils and infiltration testing
- Civil Design Studio - Stormwater management
  - Preliminary grading and drainage plan
  - Parking lot concept
  - Retaining wall concept



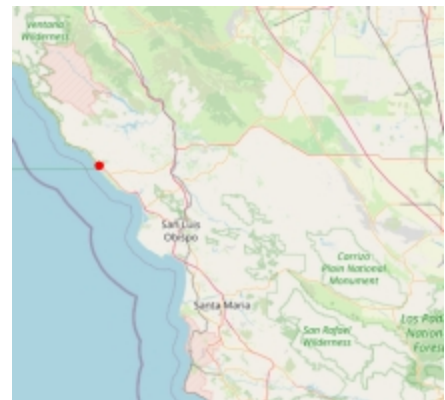
- Legend**
- SLO County Parcels
  - Roads**
  - CalTrans
  - Maintained by SLO CO
  - Private Maintenance
  - Federal or State Maintenance
  - Community Advisory Groups**
  - Community Advisory Group Boundary
  - Cayucos Citizens Advisory Council Subarea
  - Creston Advisory Body Sub Areas
  - Supervisor Districts
  - SLO County Boundary

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Map for Reference Purposes Only





### Legend

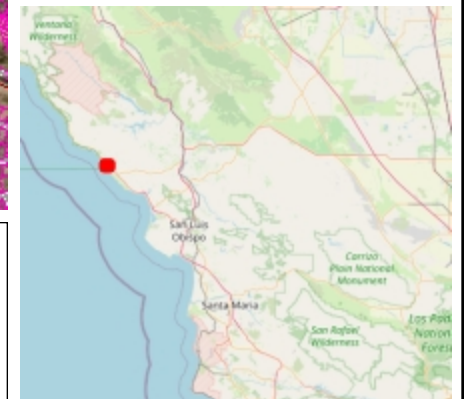
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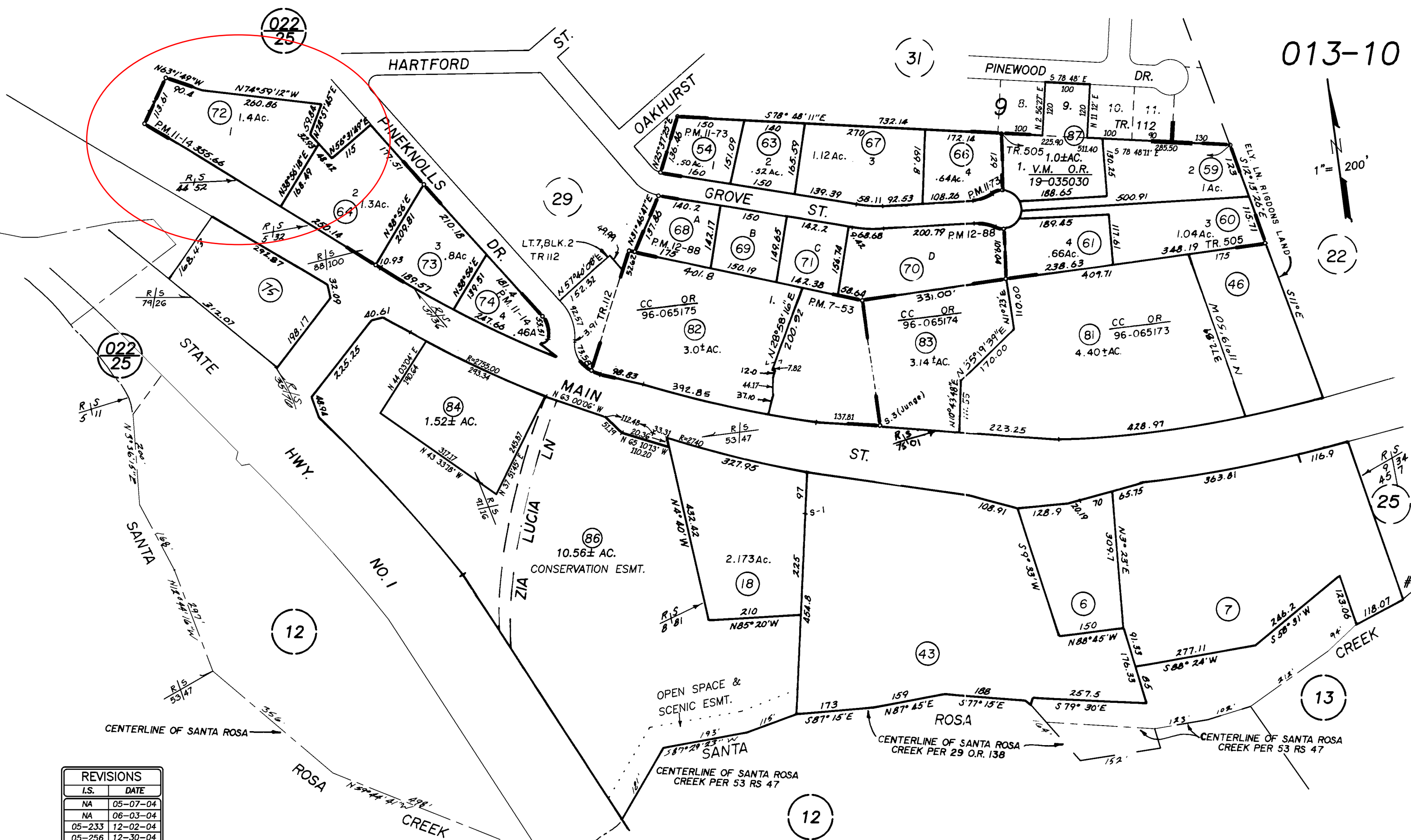
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Map for Reference Purposes Only



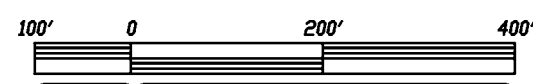


013-10



1" = 200'

REVISIONS	
I.S.	DATE
NA	05-07-04
NA	06-03-04
05-233	12-02-04
05-256	12-30-04
NA	04-05-05
05-466	06-09-05
NA	01-14-08
20-118	02-11-20



JAW  
12-27-99

THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

Tract 112, R.M. BK.5, Pg.113  
 Pineknolls Terrace, Tr. 505, R. M. Bk. 8, Pg.54  
 RANCHO SANTA ROSA, PATENT BK. A, PG. 42.

**CAMBRIA**  
 ASSESSOR'S MAP, COUNTY OF  
 SAN LUIS OBISPO, CA.  
 BOOK 013 PAGE 10

Stormwater Management: The size and style of a stormwater management system is designed to meet minimum requirements as per the clean water act and SLO County's stormwater management program. The project as proposed, will not impede upon any drainage ditches, creeks, or other drainage features. This will be accomplished by directing water from all impervious surfaces (concrete or asphalt) to drain inlets, to then be conveyed to an infiltration basin.

Located to the northwest of the proposed skatepark, the basin will hold runoff and promote on-site infiltration and manage the appropriate capacity to satisfy state and county requirements. When the basin's capacity is reached, overflow drainage will follow the historic drainage path along Main Street.

Another distinct feature of the system is a drainage swale. The swale runs cross slope and directly behind the top edge of the retaining wall and falls gradually towards the basin. The swale will capture shedding debris and runoff to also be conveyed to the basin. The top edge of the wall follows the fall of the swale.

Soil Type and Infiltration Rate: The soils are sandy and non-expansive and are optimal for slab-on-grade skatepark construction but will need some treatment to ensure maximum compaction rates, especially if imported fill is used. This soil type also offers a high rate of water transmission. This will allow stormwater to readily percolate into the ground and help reduce the size of any holding/infiltration pit. This will be a net benefit to the cost of the system overall.

Zoning: The project is located in an area approved for both commercial and recreational use. Currently the Land Use approved for the property is commercial retail. Change of "Use" will need to be applied for and approved before prior park construction and operation. A recreational use will also need to conform to County Planning, Health and Safety & Building standards.

County Planning/Standards Compliance: Our discovery so far indicates two county standards that will need to be navigated, off-street parking and the street setback distance. For both items, specific solutions to address the issues, or a request to modify the standard will need to be reviewed and approved.

Street Set-back: The standard recreation set-back of 50' isn't reasonably achievable on this site. Some types of recreation facilities have lesser set-back requirements and skateparks aren't listed or defined specifically. It's reasonable to assume that due to the nature of the site, a modification of the standard is possible. The addition of traffic control/crash barriers could be required.

Parking: Beyond the standard ADA parking requirements for parking and path of travel into the facility, the County recreation standard for skateparks calls for 1 off-street parking place for every 500 square feet of user activity area. Our current plan is to provide off street parking to the same approximate area as to what is being used now.

With no appropriate on-street location for ADA parking being available, a paved off-street parking area will need to be provided. With a target size of 6,000 square feet of skatepark and additional 11 spaces of parking would also need to be provided.

To be able to fully provide the desired sized skatepark with the required off-street parking, without applying for a modification, a substantial retaining wall would be needed to push back the base of the slope. With an eye on budget feasibility we looked at alternate options. One was to reduce the size of the skate area to the point where it balanced with the available parking area. The other was to look for alternate parking locations, such as on-street spots or other adjacent public parking areas, to offset a shortfall by a more modest parking as shown in our initial design concept (#1).

Each solution comes with an additional challenge. On-street parking would require fully developing the street frontage (curb, gutter and sidewalk), which leads to additional cost and usable space impacts. Alternate public parking could require users to cross a street and traffic.

Requesting to modify the parking requirement and provide fewer spaces is possible and would be the least budget-impacting approach. However, without currently knowing whether a modification would be granted or what the minimum space requirement would be, our civil plan shows an integrated parking and stormwater management system that best meets the known standards and requirements.

Additional reasoning for enhanced parking area in concept #2:

- Public Works will require a single driveway point of access instead of a wide asphalt paved area to enter the parking lot
- The parking spaces will most likely require a full backup space behind them, so they will need to move North
- The front setback is 5' for this zoning
- If we build parallel parking spaces on the street, I believe they will require curb, gutter, and sidewalk to be installed at the frontage
- The mid-block crosswalks are discouraged, and probably not allowed in this location due to the merging and turning lanes

If a request to modify the parking standard to provide fewer spaces is approved, it is highly likely an alternate lot configuration can be created that meets these Public Works standards and minimizes the size of the retaining wall.

Land Use: Any time land is being developed or changing types of use a “Land Use Permit” must be applied for and approved. Currently the project is in the pre-application phase. A pre-permit meeting has been scheduled with SLO County Planning Department, Parks and Public Works on Oct. 25th to show them our concept development plan. This meeting should provide a higher level of project specific information and give direction on what additional information, surveys, studies or reports will be needed to receive the land use permit and approval. A possible list of these issues are listed in the Appendix A.

To date, as this project is not yet in this stage of the permitting process but to still be able to judge project feasibility the “Land Use Permit Process Guide,” and the “Land Use – Checklist & Application Package,” are useful references.

### **Design Concepts #1 & #2 - (Appendix I)**

Differences between the two: (#1 - 5900 sf. & #2 6500sf.)

- #1 Didn't meet parking or SWM standards, #2 Added 5 spaces & infiltration basin
- #2 Incorporates feedback from the park users
- #2 Changes were made to the overall shape and the size of the area to better accommodate the hillside and the stormwater runoff swale
- #2 Integrates a retaining wall to facilitate the stormwater management system, as well as the off-street parking requirements
- #2 In the process of adding the wall, we were able to gain additional user area and increase the size of the overall park
- #2 Value engineers and moves the seating area to decrease cost and increase the usable space
- #2 Redesigns the corner feature closest to the drive entrance to increase flow lines within the park, reduce superfluous cost, and create an entry sign/monument opportunity

### **Site Plan - (Appendix G)**

Our site plan shows a preliminary grading and drainage concept and shows the skatepark and parking lot configurations.



WAVE SCULPTURE

4' ORNAMENTAL FENCE

LANDSCAPE BUFFER ZONE

STREET SECTION

ASPHALT PARKING LOT

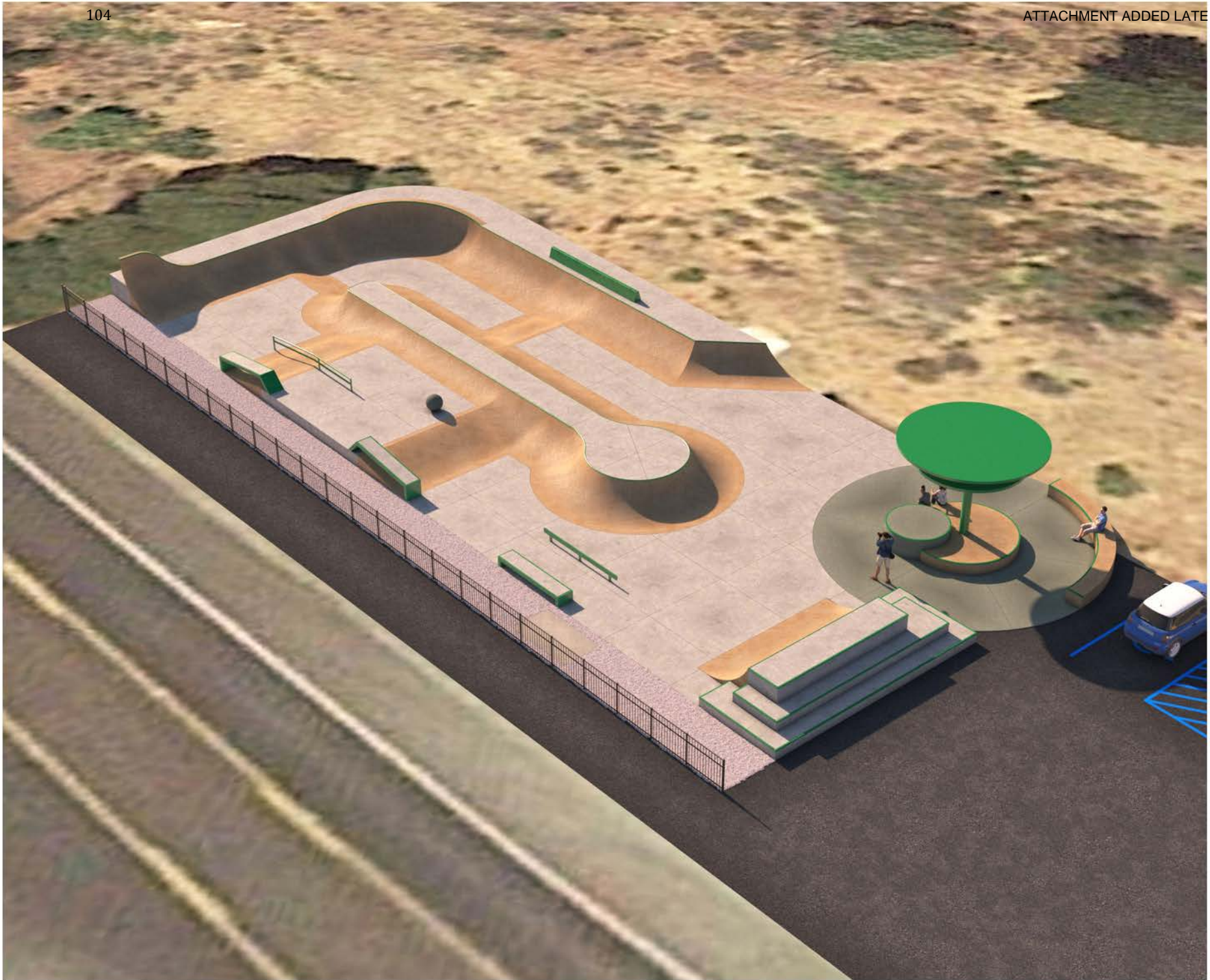
BOWL SECTION

SPECTATOR SEATING

SHADE STRUCTURE

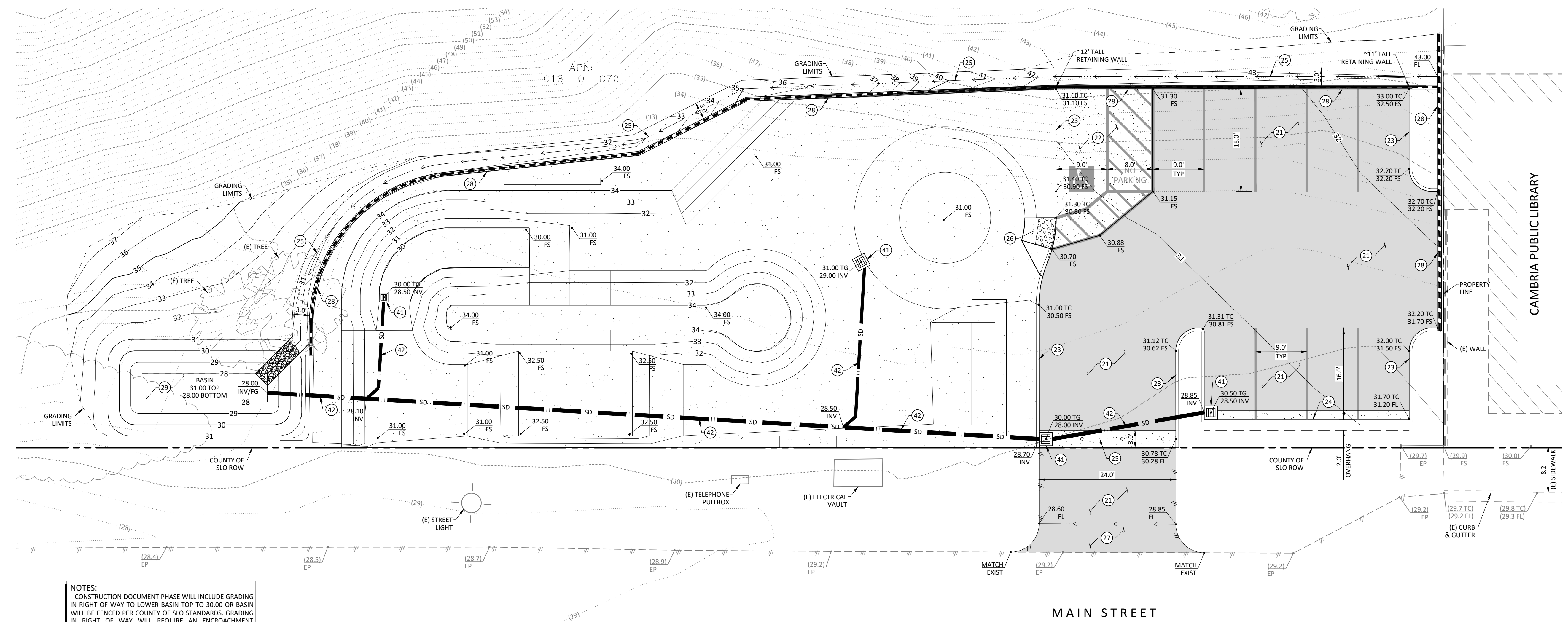












**NOTES:**  
 - CONSTRUCTION DOCUMENT PHASE WILL INCLUDE GRADING IN RIGHT OF WAY TO LOWER BASIN TOP TO 30.00 OR BASIN WILL BE FENCED PER COUNTY OF SLO STANDARDS. GRADING IN RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT PERMIT.

**PRELIMINARY CONSTRUCTION NOTES**

- 21 PROPOSED AC PAVING
- 22 PROPOSED CONCRETE
- 23 PROPOSED 6" CURB
- 24 PROPOSED CURB AND GUTTER
- 25 PROPOSED V-GUTTER
- 26 PROPOSED CURB RAMP
- 27 PROPOSED DRIVEWAY PER COUNTY OF SLO STANDARDS
- 28 PROPOSED RETAINING WALL
- 29 PROPOSED RETENTION/INFILTRATION BASIN
- XX PROPOSED SKATE PARK PER SPOHN RANCH PLANS  
NOTES XX TO 40 NOT USED
- 41 PROPOSED CATCH BASIN
- 42 PROPOSED STORM DRAIN LINE

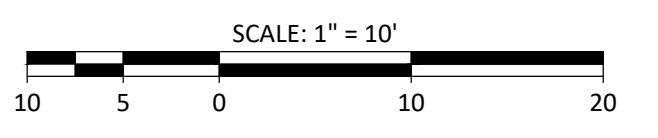
**LEGEND**

- 21 AC PAVING
- 22 CONCRETE

**SOIL PREPARATION & PAVEMENT DESIGN NOTE:**

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS:  
 SOILS ENGINEERING REPORT TITLED "SOILS ENGINEERING REPORT, MAIN STREET SKATE PARK, APN 013-101-072, CAMBRIA AREA, SAN LUIS OBISPO COUNTY, CALIFORNIA" DATED AUGUST 17, 2021.  
 GEOTECHNICAL ENGINEER: GEOSOLUTIONS  
 PROJECT NO: SL12170-1  
 THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT REGARDING GRADING AND SITE PREPARATION SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES. REFER TO THE CIVIL SITE PLAN FOR PAVING CROSS SECTIONS.

# Design Concept #2



PLAN PREPARED BY:  
**CIVIL DESIGN STUDIO**  
 CIVIL ENGINEERING | PLANNING | PERMITTING  
 P.O. Box 199 Cambria CA 94248  
 805-700-0401 www.civil-studio.com

ENGINEER OF RECORD:  
  
 NOT REPRODUCED WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER

PROJECT NAME:  
**CAMBRIA SKATE PARK**

PROJECT LOCATION:  
 MAIN STREET  
 CAMBRIA, CA 93428  
 APN: 013-101-072

PLANS PREPARED FOR:  
**SPOHN RANCH SKATE PARKS**  
 6824 SOUTH CENTINELA AVENUE  
 LOS ANGELES, CA 90230  
 626.330.5803

REVISIONS:

REVIEWED BY: MRS  
 PREPARED BY: MMM  
 DATE: October 8, 2021  
 CDS JOB #: 21-016

PRELIMINARY GRADING AND DRAINAGE PLAN  
**C-1**  
 SHEET 1 OF 1 SHEETS











Design Concept #2

## **BUDGETING AND FINANCE**

Potential funding sources for this project are local donations and fundraising, capital improvement dollars and state or federal grant programs. In California, cities, counties and districts are able to apply for funding through CA State Parks and the Prop 68 Grant Program.

Prop 68 Per Capita Grant Program and Process: This non-competitive grant program provides funding to local government agencies to support the rehabilitation, creation and improvement of local parks and to address deficiencies in neighborhoods lacking access to outdoor recreation facilities. The Grant application process is separate from the Land Use Permit process but makes use of some of the same project information already generated. The grant application can proceed now while the land use permit process moves forward on a separate, parallel track. Additional information generated during the course of permit application is also required for the grant application. See environmental review/CEQA compliance.

The grant funds are available for Per Capita grants to cities and districts in urbanized counties (a county with a population of 500,000 or more) providing parks and recreation services within jurisdictions of 200,000 or less in population. An entity eligible to receive funds under this subdivision shall also be eligible to receive funds available under the General Per Capita Program.

## **ENGINEERS ESTIMATE OF COST - \$661k - (Appendix J)**

As a California based design/build skatepark contractor we track our projects costs and then conduct an analysis afterward to help understand the actual costs of development for each project. For the purposes of this project we are applying California specific project information to generate an “Engineers Estimate” of cost to build the skate area and peripheral infrastructure.

We also turned to a local civil engineer to create an “Engineers Estimate” of the cost (appendix H) to build the parking lot, retaining wall and drainage system. We then married the two cost estimates to create our final projections.

Note: Currently the construction industry is facing supply chain shortages that are impacting availability and cost of key building materials. Lumber, steel and concrete have all seen a dramatic spike in cost. This creates unknowns and challenges when making short term cost projections. As we have started to see these material prices correcting, we believe that by the time this project starts construction, materials costs will fall to more traditional levels.



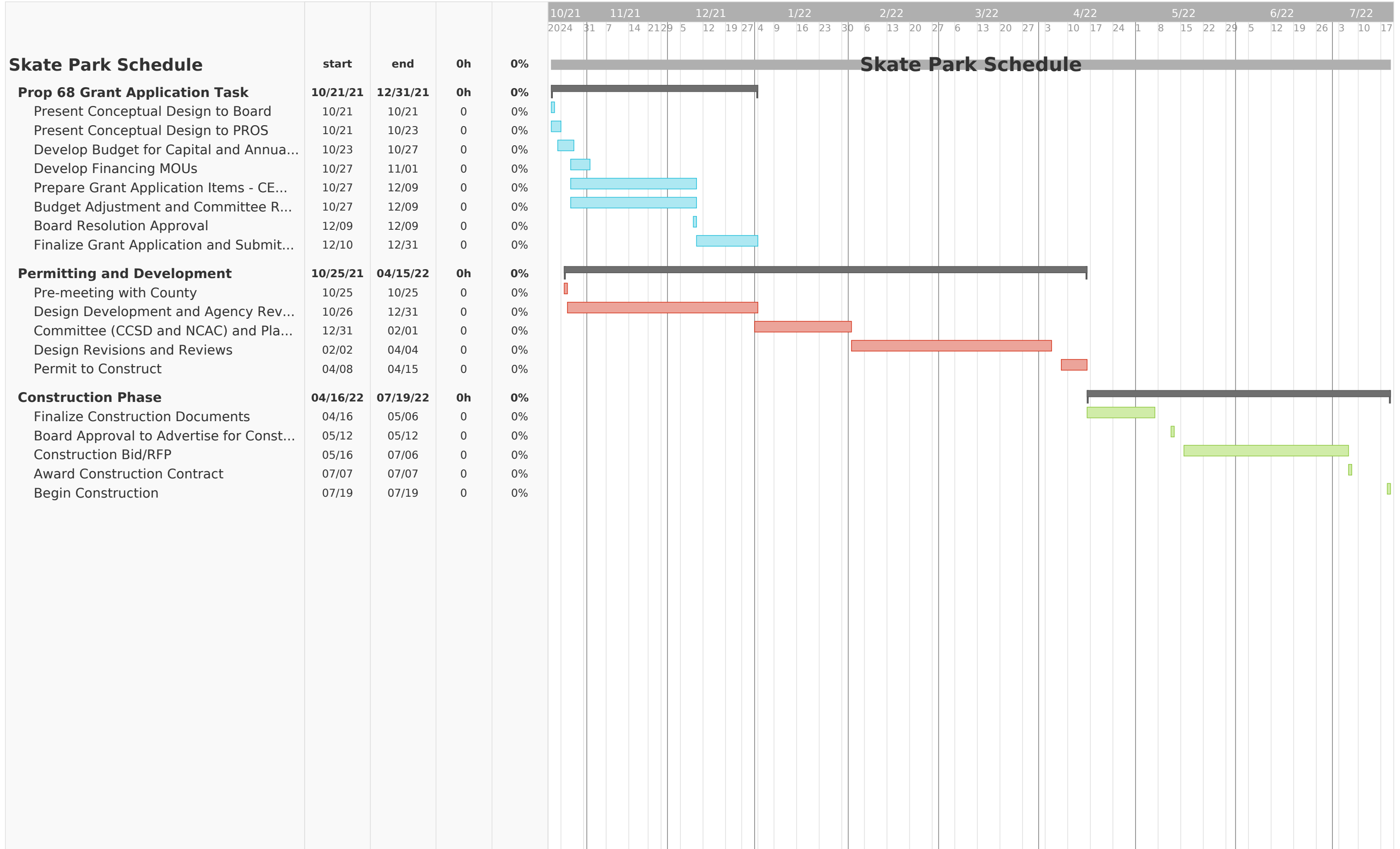
- The combined engineers estimate of cost is \$661k (including skatepark, fence, seating area, parking lot, retaining wall and drainage system).
  - Currently the cost of skatepark construction (NON-COVID) in California runs about \$55 to \$60 per square foot for the skate area only.
  - Our current design concept is about 6500 sf. at a projected cost of \$380k
  - This breaks down to \$58.50 psf. including demolition and drain lines
- In the design and engineering category we've budgeted \$66k
  - \$21k for civil and structural work
  - Based on hillside construction, this is tight
  - There is \$15k for fees and permits which include Land Use Permit requirements
- Miscellaneous Category
  - Shade and spectator seating is shown at \$30,000
    - A potential value engineering area
  - The ornamental fence is shown at \$30,000
    - Reduced by \$10k from initial budget
    - Is not just for security or aesthetics
    - Creates a buffer between the street and the park
    - Protects against loose items/vehicles leaving or entering the park
    - Also covers some cost towards fall barriers around the perimeter of the skate course
  - Landscaping is shown at \$10k
    - Reduced by 50% from initial budget
    - Parking islands
    - Rock for ground cover and rip rap
    - No irrigation
- Parking Lot and Retaining Wall
  - Shown at a combined \$140,000
  - Are required to meet codes and standards
  - Will stabilize the site and reduce clean up maintenance
  - Is a potential area for value engineering

**One of the key realities of building a skatepark in this location are the additional costs of supporting infrastructure and site development. We do believe there are ways to value engineer the project as a whole to reduce these initial projections.**

## COST ESTIMATE

CAMBRIA SKATEPARK – CAMBRIA, CA  
 CAMBRIA COMMUNITY SERVICES DISTRICT  
 OCTOBER 26, 2021

SCOPE OF WORK:	ESTIMATED COST:
<b>DESIGN:</b>	
CONSTRUCTION DOCUMENTS	\$30,000.00
STRUCTURAL ENGINEERING	\$7,000.00
CIVIL ENGINEERING	\$14,000.00
PERMITTING / INSPECTIONS	\$15,000.00
<b>GENERAL:</b>	
MOBILIZATION	\$30,000.00
TEMPORARY FACILITIES – FENCING, EROSION CONTROL, RESTROOM, DUMPSTER, ETC.	\$18,000.00
CONSTRUCTION STAKING	\$5,000.00
<b>SKATEPARK:</b>	
DEMOLITION	\$20,000.00
DRAINAGE SYSTEM / ROCK SWALE / INFILTRATION BASIN	\$35,000.00
EARTHWORK	\$40,000.00
STEEL COPING, EDGE PROTECTION & GRIND RAILS	\$45,000.00
CONCRETE SKATE ELEMENTS	\$112,000.00
CONCRETE FLATWORK	\$45,000.00
<b>MISCELLANEOUS SITE IMPROVEMENTS:</b>	
SPECTATOR SEATING	\$10,000.00
SHADE STRUCTURE	\$20,000.00
4' ORNAMENTAL FENCE	\$30,000.00
PARKING LOT	\$55,000.00
RETAINING WALL	\$80,000.00
SIGNAGE	\$5,000.00
LANDSCAPING	\$10,000.00
<b>MISCELLANEOUS PROJECT MANAGEMENT:</b>	
MATERIAL TESTING / TRAFFIC CONTROL	\$10,000.00
CONSTRUCTION OVERSIGHT	\$10,000.00
BONDING	\$10,000.00
<b>GRAND TOTAL:</b>	<b>\$661,000.00</b>





### **SCHEDULE - (Appendix D)**

We have created a two part schedule. Part 1 shows the planning and development process, including the Land Use Permitting process. This also includes continuing design development necessary to provide additional information to the County for final approval, and should transition into the construction document development.

Part 2 is a projected construction schedule starting at the estimated end date of the planning process. It is possible both schedules could be streamlined somewhat, and the process expedited.

### **Conclusion: Primary Findings of Feasibility**

**At the conclusion of this Phase 1 discovery process we found no issues that would disallow for development in this location or create unreasonable budget impacts. All potential issues found can be mitigated through design solutions, or approvals by the County during the Land Use Permit process. During the permitting processes, more information will be discovered, and collaboration required with the County to deal with the unknowns.**

**And though the site itself is limited in size and usable area, our current concept makes use of every readily available space, and the net result will be a fun, challenging, safe place for the youth of the community to practice their chosen sport.**

### **APPENDIX SECTION**

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#### **LIST OF APPENDICES**

- Appendix A - Land Use Permit (see below & attached)
- Appendix B - Grant Application Process (see below)
- Appendix C - Soils Report (attached)
- Appendix D - Schedule (attached)
- Appendix E - Infiltration Test (attached)
- Appendix F - Preliminary Grading & Drainage Plan (attached)
- Appendix G - Site Plan (attached)
- Appendix H - Civil Engineers Estimate of Cost for SWM and parking (attached)
- Appendix I - Renderings (attached)
- Appendix J - Skatepark Engineers Estimate of Cost (for full project attached)
- Appendix K - Topographical Survey (attached)
- Appendix L - Operations and Maintenance (see below)

#### **Appendix A - LAND USE PERMIT APPLICATION PHASE**

The application package provides a detailed list of required forms. These forms will require additional information and submission of additional studies, surveys or reports.

Short list of completed items:

- Soils (geotechnical) report - See Appendix C
- Topographical survey - See Appendix K
- Infiltration study - See Appendix E
- Course design - See Appendix I
- Site plan - See Appendix G

Short list of outstanding items:

- Frontage Development
  - The development of the property frontage is TBD
  - Required for official on-street parking designation
    - On-street parking provides a protective barrier from street traffic
  - Topic for pre-application meeting on 10/24
  - A waiver or modification is possible - TBD
- Tree Removal form - TBD
  - Non-pines located at site
  - In current design the infiltration basin and drainage swale may impact tree location
  - If so, tree removal form required - adding new trees to offset remove may be required
  - Topic for pre-application meeting on 10/24
- Archeological Report - TBD
  - Property is in an archeologically sensitive zone
  - Notations on county database indicate a favorable previous analysis
  - Construction observation during excavation a possible remedy - TBD
- Noise Study - TBD
  - Park development within 1000' can require a noise study
  - Pre-existing commercial zone and traffic
  - Study TBD but likelihood of being required or of a negative declaration is low
- Environmental Review
  - An environmental review and determination is critical for both application processes. A Notice of Exemption or Notice of Determination is required for approval. It's possible the project is exempt; very likely to receive a negative declaration and not need an Environmental Impact Report.
  - The area in which the project is located is not known to be environmentally sensitive.

- The total area of disturbance/total area of permeable surface is less than 10,000 sf. A development area of less than one acre reduces the impact or requirements of the CEQA process.
- We believe there is low risk of an EIR, and that based on the size and nature of the project, an outright exemption or a negative declaration is possible.

### **Appendix B - PROP 68 PER CAPITA GRANT & LAND USE PERMIT APPLICATIONS**

The Grant application process is separate from the Land Use Permit process but makes use of some of the same project information already generated. The grant application should proceed now while the land use permit process continues to move forward on a separate parallel track. Additional information generated during the course of the land use permit application is also required for the grant application. See environmental review/CEQA compliance.

The grant funds are available for Per Capita grants to cities and districts in urbanized counties (a county with a population of 500,000 or more) providing parks and recreation services within jurisdictions of 200,000 or less in population. An entity eligible to receive funds under this subdivision shall also be eligible to receive funds available under the General Per Capita Program.

The grant application is less detailed in general with some of the key information items discussed below.

#### **Grant Application Information Required**

- Project Description
  - A brief description of the intended recreational use of the land
  - The estimated date by which the site will be open to the public for recreational purposes
- Development Project Scope/Cost Estimate
  - See SR project cost estimate - Appendix J
  - Upfront design and planning cost to be included
- Funding Sources Form
- Per Capita Match Calculator
  - There is a 20% match for projects that do not serve a severely disadvantaged community
- CEQA Compliance Certification
  - Environmental review form to be completed by lead agency and submitted to county
  - See Environmental Review section in Land Use Permit section
- Site Plan - Appendix G
  - See SR site plan
  - Project renderings should also be included

- Conceptual Design - Appendix I
  - Community and Board Approval
  - Cost estimate
    - Capital cost
    - O&M cost

### **Appendix L - OPERATIONS & MAINTENANCE**

Park maintenance is a fact of life. Almost every type of recreation facility wears with use and with environmental impact. It's always smart to anticipate that and create a budget to pay for ongoing maintenance.

- Create budget for ongoing maintenance costs
- Concrete skateparks are low maintenance
- Graffiti and sticker removal unexpected expense
- Crack maintenance as needed
- Storm/Debris clean-up as needed
- General clean-up
- Paint touch-up as needed

### **Maintenance Overview**

Skateparks are engineered and built to be durable and long lasting. The bulk of skatepark maintenance is trash and graffiti removal. These are costs associated with all park facilities. Very often this type of maintenance is minimal in smaller more upscale communities. Facilities that are open to easy, visual observation are also less susceptible to unwanted behavior. These types of ongoing costs are difficult to calculate exactly and most often just factored into the larger parks maintenance budget.

Another aspect of maintenance is purely aesthetics. Some surfaces in parks may consist of painted or powdercoated finishes. These are areas that may want to be touched up in time. Most skateparks builders will provide cans or color matched spray paints as part of a maintenance kit for just this purpose and the touch will happen at the owner's discretion.

The Tony Hawk Foundation suggests the costs of skatepark maintenance on average to be about \$2000 per year. Based on our own experience, I believe that a park of this size and style should run about \$1000 for actual repairs and touch up. This doesn't include trash collection, storm clean up or other operational costs.

FINISH



# CAMBRIA SKATEPARK FEASIBILITY REPORT



Presented To:

CCSD – CAMBRIA CALIFORNIA



# INTRODUCTION

- Original Cambria Skatepark removed due to maintenance and safety concerns
- A community effort is currently underway raising funding to rebuild it in the same location
- CCSD has taken steps to support that effort by hiring a skatepark designer/builder to research the feasibility of this redevelopment
- Steps taken to date:
  - Spohn Ranch Skateparks hired
  - Public meeting and user survey
  - Initial design concept
  - Site survey
  - Soils Report and Infiltration Test
  - Preliminary grading and drainage plan (site plan)
  - Refined design concept
  - Engineers estimate of cost for development (combined skatepark & civil engineers estimates)
  - Feasibility Report
  - **UPDATE: Pre-application Land Use Permit Meeting w/ SLO County**

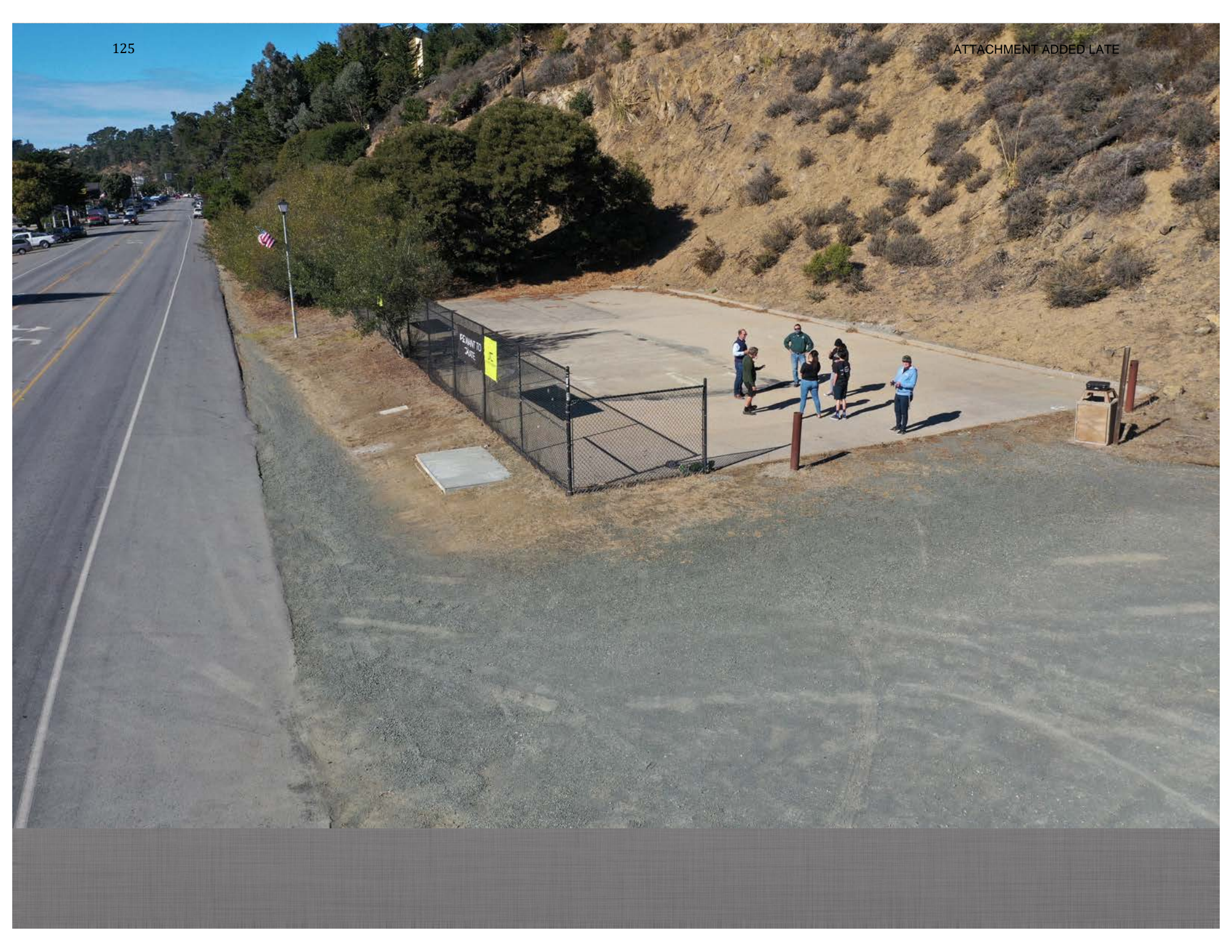


Google

**CAMBRIA SKATEPARK: Located on Main St., Northwest of the Public Library**

# PROJECT DESCRIPTION

- Cast-in-place concrete wheeled sports park
- An approximate 6000 sf. area for skating located both in-ground and above-grade
- A final design should balance earth generated by excavation and material needed for upright elements
- A drainage system to manage stormwater runoff
- Seating area and additional infrastructure as needed



# KEY DEVELOPMENT ISSUES

- Unique site conditions
  - At the base of a hillside
  - Small flat area and mostly undeveloped
  - Bordering a primary thoroughfare
- Topographical & Boundary Survey
  - GB Land Surveying
- Soil conditions and potential remedies
  - GeoSolutions
  - Soils test
  - Infiltration test
- Stormwater management and drainage systems
  - Civil Design Studio
  - Preliminary grading plan
  - Preliminary drainage plan
  - Parking lot design

# SOILS & STORMWATER MANAGEMENT

- Soil Type:
  - Sandy and non-expansive
  - Optimal for skatepark construction
  - High water transmission rate
  - Optimal for an infiltration system
- Stormwater Management:
  - SLO County Stormwater Management Program
  - Typically to capture all sw runoff from all impervious surfaces
  - Based on square footage create a system to hold and disperse onsite and inground
  - Due to the site we also need to manage the hillside runoff



DESIGN CONCEPT #1

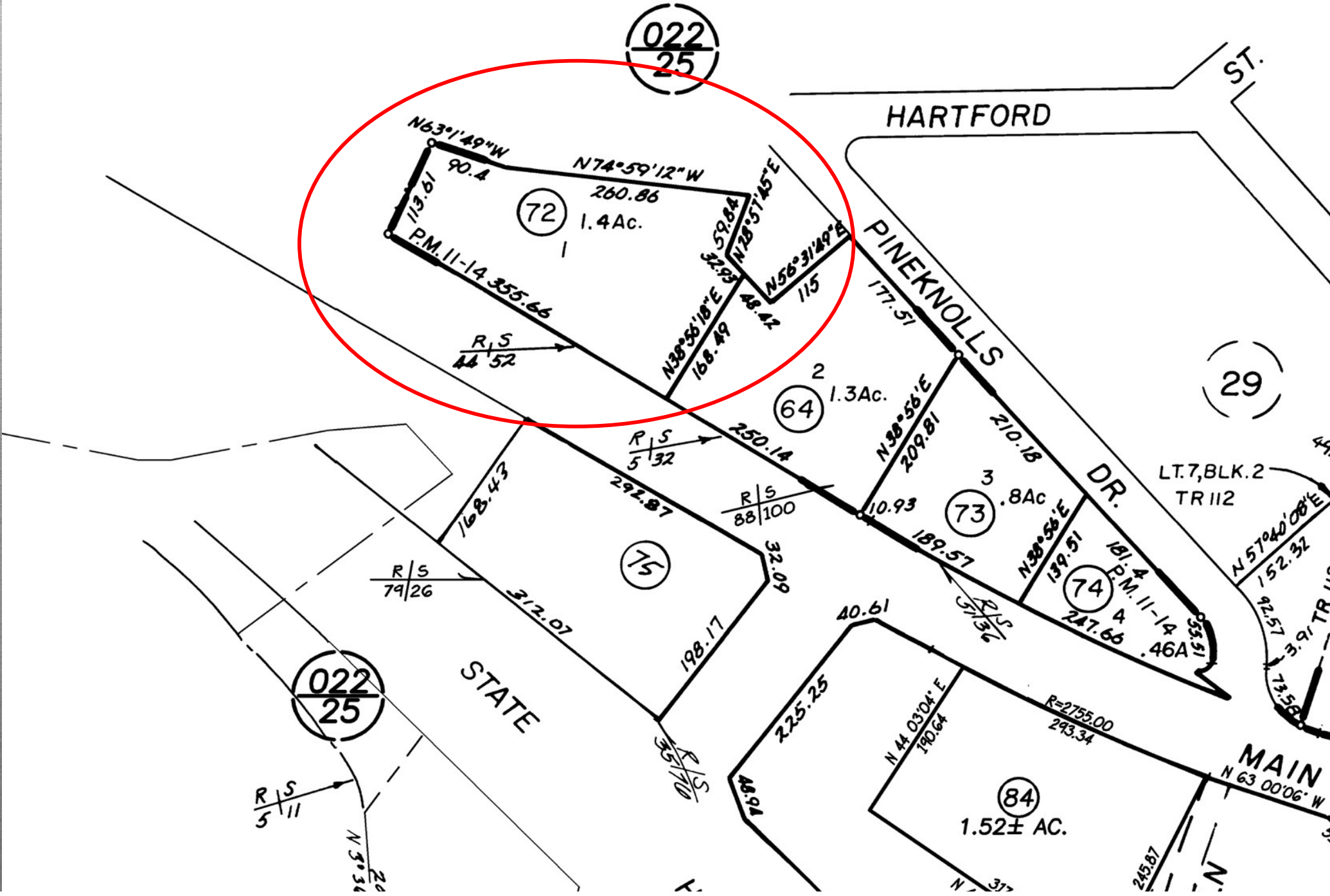




DESIGN CONCEPT #1



DESIGN CONCEPT #1



# SLO COUNTY ZONING & LAND USE

- OVERVIEW - APN 013-101-072
- OWNER - Cambria Community Services District (CCSD)
- ADVISORY COUNCIL - North Coast Advisory Council
- LEGAL DESCRIPTION 001.42AC VACANT
- PLANNING AREA(S) - North Coast Planning Area, Coastal Zone
- ZONING - Commercial/Recreation
- LAND USE DESIGNATION - Commercial Retail
- COMBINING DESIGNATIONS - Local Coastal Program, Geologic Study Area, Archaeologically Sensitive Area, Flood Hazard,
- PLANNING AREA STANDARDS - 22.14.070, 23, 23.070.176, 66474.02, T23 CZLUO, T23 North Coast
- PARCEL FLAGS AS - Archaeologically Sensitive Area, CR - Commercial Retail, CSC - Coastal Special

## LAND USE PERMIT

- Conditional Use Permit
  - Change of use
  - Development plan approval
- Completed Items
  - Soils (geotechnical) report - See Appendix C
  - Topographical survey - See Appendix K
  - Infiltration study - See Appendix E
  - Course design - See Appendix I
  - Site plan - See Appendix G



COUNTY OF SAN LUIS OBISPO  
DEPARTMENT OF PLANNING & BUILDING

PLN-1000  
04/01/2020

### Land Use – Checklist & Application Package

#### REQUIRED MATERIALS AND INFORMATION

The following information is required to be submitted with your application. If additional information is necessary for application review, Department staff will notify applicants and/or authorized agents.

We are now accepting initial application materials in digital format but may request hard copies of documents and plans as necessary review and processing. Digital files should be in PDF format, and in a higher resolution to support digital review of all plan and map details.

#### FORMS

**For applications via the Online Permit Portal: please upload this complete and digitally signed application package PLN-1000 (as detailed below).**

Please provide one (1) completed copy of the following form:

- PLN-1000: Land Use Application Checklist & Package.** This form conveniently combines all the following forms into one, and begins with a Checklist of Materials and Information Requirements for Applications
  - GEN-3000: General Application Contact Information
  - PLN-1004: Land Use – Project Information Form
  - PLN-1003: Environmental Description Form
  - PLN-1006: Information Disclosure form
  - PLN-1012: Land Use Consent of Property Owner form (only if applicant does not own the property)
  - PLN-1122: Hazardous Waste and Substances Statement Disclosure (PLN-1122)
- Accessory Application form(s), if applicable.** These forms are not included in this package. Examples include, but are not limited to:
  - Curb, Gutter, and Sidewalk Waiver
  - Tree Removal form
  - Variance Application form

#### FEES

- Application fee (refer to current [fee schedule](#))

#### SITE LAYOUT PLAN(S)

**For applications via the Online Permit Portal: please upload during initial application submittal. The Department may request up to 4 copies of full-sized hard copy plans for inter-agency review as necessary.**

Plans should consist of an accurate drawing of the property, and the site plan must show the following items (where they apply to your site):

- Exterior boundaries and dimensions of the entire site
- North arrow and scale

## LAND USE PERMIT

- Conditional Use Permit
  - Change of use
  - Development plan approval
- Completed Items
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  - Course design - See Appendix I
  - Site plan - See Appendix G

### Land Use – Checklist & Application Package

- Slope contour map (except when a grading plan is required), showing the following:
  - *Inside urban reserve lines* – show contours at 5-foot intervals for undeveloped areas and 2-foot intervals for building sites and paved or graded areas
  - *Outside urban reserve lines* – show contours at 10-foot intervals for undeveloped areas and 2-foot intervals for building sites
  - *Steep slopes* – areas in excess of 30% slope may be designated as such and contours omitted, unless proposed for grading, construction or other alterations
- General location of major topographic and man-made features, such as rock outcrops, bluffs, streams, swales and graded areas
- Location, dimensions, and use of all existing and proposed structures on the property, including buildings, decks, balconies, fences, walls, and other structural elements that extend into yard areas
- Location, name, width, and pavement type of adjacent and on-site streets/alleys
- Existing/proposed curbs, gutters, and sidewalks. Include all points of access, both existing and proposed
- Types and location of existing/proposed water supply and sewage disposal facilities
- Location and dimensions of all existing/proposed easements, driveways and parking areas (enclosed or open), including pavement type
- Location, diameter (at 4 feet above grade), species, approximate canopy cover (dripline) of all trees on the site, noting which will remain and which are proposed for removal, and include proposals for replacement of trees to be removed
- All areas proposed for grading and landscaping
- Any areas proposed to be reserved and maintained as open space
- Location, use and approximate dimensions of all structures within 100 feet of the site's boundaries
- A vicinity map showing precisely how to drive to the site. (include street names and distances to help with describing how to get to the site)
- Coastal Access - If the project is within the coastal zone and located between the ocean and the nearest public road, applications shall include the locations of the nearest public access points to the beach
- Preliminary Floor Plans and Architectural Elevations – showing height of buildings and structures, color, texture and material of exterior finishes and roofing (not required for most agricultural buildings)
- Elevations – (relative height) from the finish floor of the garage or other parking area to the edge of the pavement or road at the driveway entrance
- Legal Lot Verification – how the parcel(s) was/were legally created

## Land Use – Checklist & Application Package

### SUPPLEMENTAL INFORMATION

The following information may be required, depending on your Land Use application type.

If you had a pre-application meeting and any of these items were indicated, they are required for a complete submittal. For applications via the Online Permit Portal, these can be uploaded with your initial application submittal, or later when your full Plan Case has been created.

- Preliminary Landscaping Plan prepared pursuant to Section 22.16/23.04.180, et seq.
- Fire Safety Plan prepared pursuant to Section 22.52/23.05.080, et seq.
- Preliminary grading/drainage plan – when required by Section 22.52/23.05.020 and .040
- Agricultural buffers – if any adjacent parcels are used for agriculture, show all proposed agricultural buffers
- Archeological Report – two (2) copies, where required
- Biological Report – two (2) copies, where required
- Botanical Report – two (2) copies, where required
- Building Site Envelopes – on site layout plan show all areas proposed for development, or areas proposed to be excluded from development
- Noise Study – two (2) copies, if the property either adjoins or will be a noise generator or a potential source of noise
- Traffic Study – two (2) copies, where required
- Geological Report – two (2) copies, where required
- Visual Analysis – for applications that propose development along significant visual corridors (such as Highways 101 and 1)
- Location, size, design and text of all existing and proposed signs
- Location and design of solid waste disposal facilities, as required by Section 22.10.150/23.04.280
- Cross-section drawings. The drawings shall include two sectional views of the project, approximately through the middle and at right angles to each other. The existing and proposed grades and the location of and distances between buildings, parking and landscaping shall also be provided
- Supplemental Development Statement stating the project's phasing schedule (if one is proposed), and any information that is pertinent or helpful to the understanding of the proposal, such as photos, statistical data, petitions, etc.
- Water will-serve letter OR Well pump test (4-72 hour)
- Sewer will-serve letter OR Percolation tests
- County Public Works road requirements
- Road Plan and Profile / Culvert Plan and Profile / Streetscape Plan
- Completed Cost Accounting Agreement – one (1) copy
- Abandoned oil and gas wells, if applicable – Information is available from the California Division of Oil & Gas: 195 South Broadway, Suite 101, Orcutt, California 93455, (805) 937-7246
- Other \_\_\_\_\_

## LAND USE PERMIT

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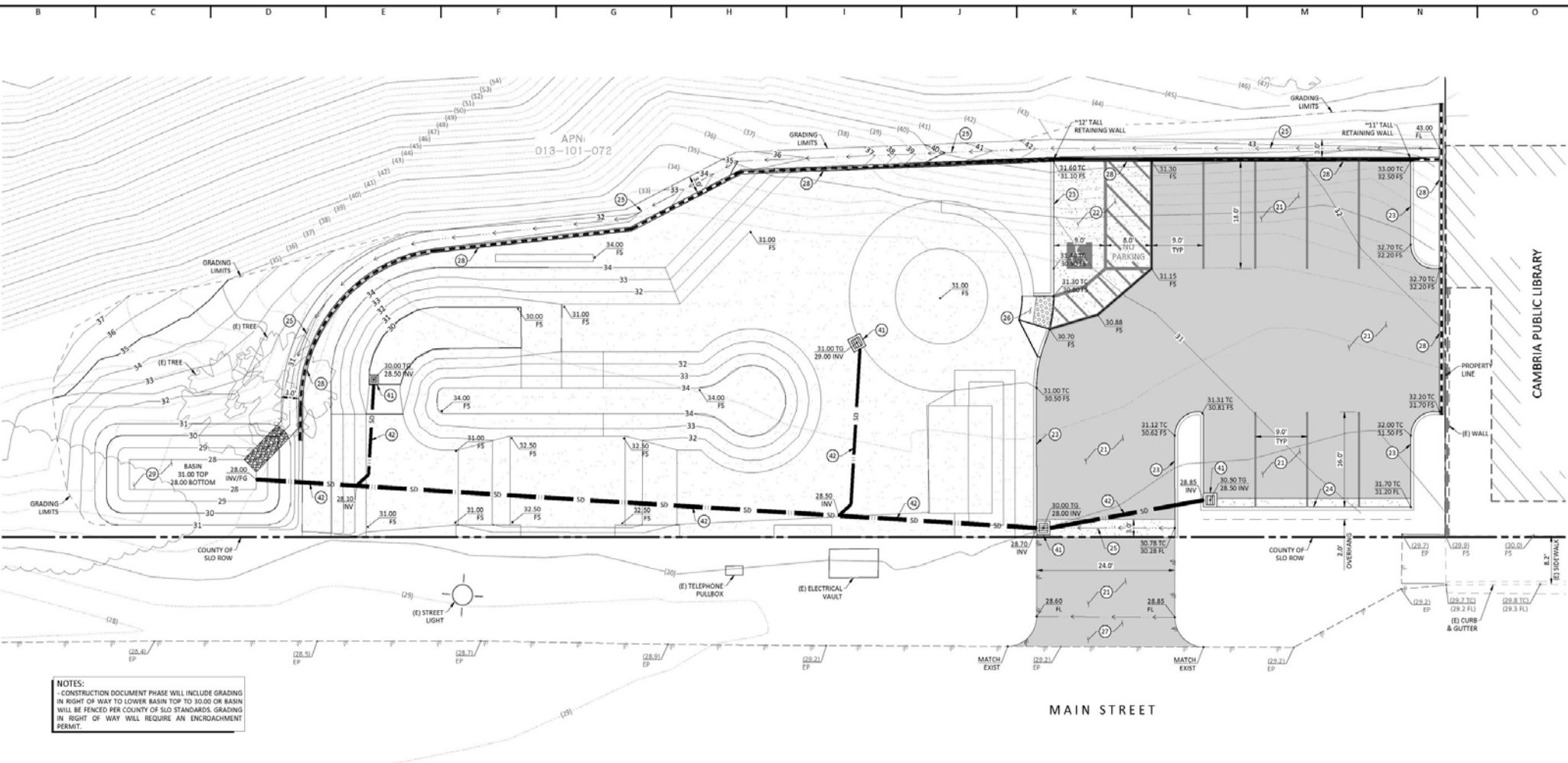




# PARKING & SETBACK REQUIREMENTS

- ADA Parking and path of travel into the facility
  - The accessible parking spaces and loading/unloading areas shall not exceed 2 percent slope in any direction.
- Parking requirements by land use
  - Skateboard Parks - 1 space per 500 sf. of use area
- Off-street parking
  - Design requirements
  - Restricted Driveway
  - Spaces need backup area
  - 5' street set-back
- On-street parking
  - Don't count toward standard requirement
  - Would necessitate frontage development (sidewalk, curb and gutter)
  - Secondary road barrier
- Auxiliary parking option
  - Public lot at Vet's Hall
- Set-back
  - 3' minimum

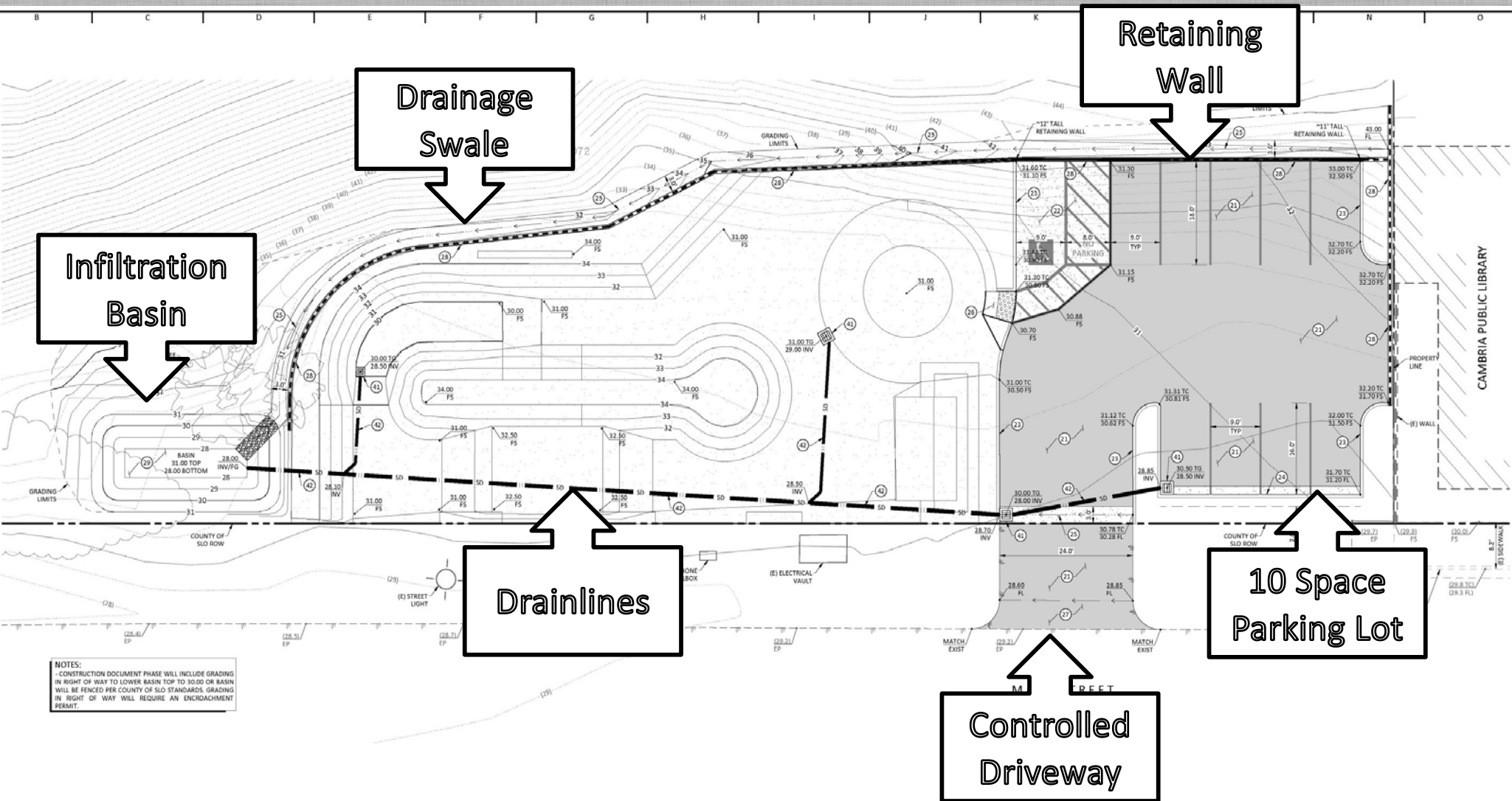
# PRELIMINARY GRADING & DRAINAGE



**NOTES:**  
 - CONSTRUCTION DOCUMENT PHASE WILL INCLUDE GRADING  
 IN RIGHT OF WAY TO LOWER BASIN TOP TO 30.00 OR BASIN  
 WILL BE FENCED PER COUNTY OF SLO STANDARDS. GRADING  
 IN RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT  
 PERMIT.

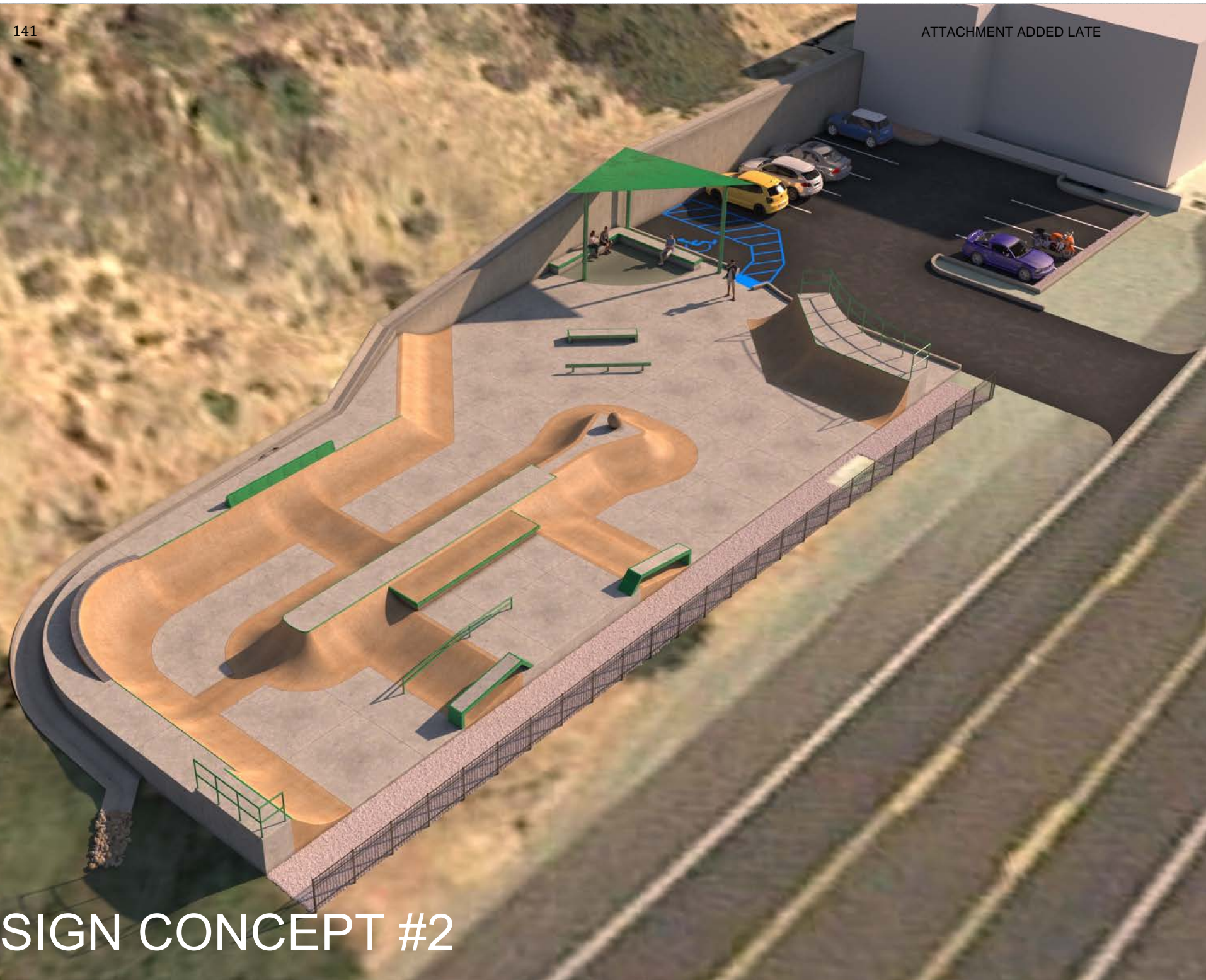
## Site Plan by Civil Engineer

# PRELIMINARY GRADING & DRAINAGE

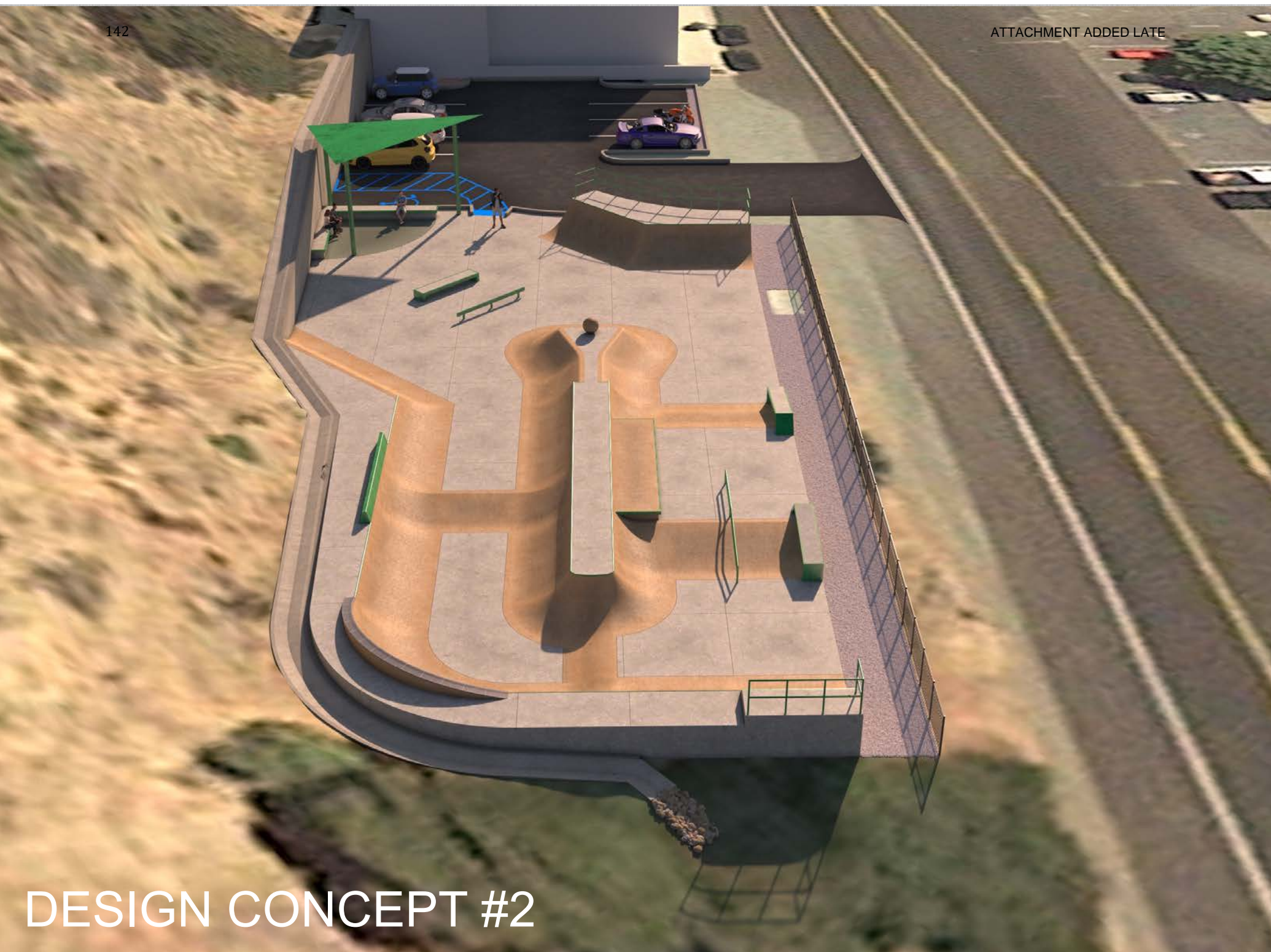


**NOTES:**  
 - CONSTRUCTION DOCUMENT PHASE WILL INCLUDE GRADING  
 IN RIGHT OF WAY TO LOWER BASIN TOP TO 30.00 OR BASIN  
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 IN RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT  
 PERMIT.

Site Plan by Civil Engineer



DESIGN CONCEPT #2



DESIGN CONCEPT #2



DESIGN CONCEPT #2





# BUDGET & FINANCE

- Prop 68 Per Capita Grant Program
  - The grant application can proceed now while the land use permit process moves forward on a separate, parallel track.
    - Application due in Dec.
    - Project Description - **Complete, See Report**
    - Development Project Scope/Cost Estimate - **Complete, Appendix J**
    - Funding Sources Form
    - Per Capita Match Calculator
    - CEQA Compliance Certification
    - Environmental review form to be completed by lead agency and submitted to county
    - Site Plan - **Complete, Appendix G**
    - Conceptual Design & Renderings - **Complete, Appendix I**
    - Community and Board Approval

# ENGINEERS ESTIMATE OF COST \$661K

- **DESIGN & ENGINEERING - \$66K**
  - Engineering ( \$21K )
  - Permits & Inspections ( \$15K )
- **GENERAL - \$53K**
- **SKATEPARK - \$297K**
  - Demolition & Earthwork ( \$60k )
  - Concrete & Steel ( \$202k )
  - Drainage system, swale & infiltration basin ( \$35k )
- **ADDITIONAL IMPROVEMENTS - \$215K**
  - Seating & Shade – ( \$30k )
  - Ornamental Fence ( \$30k )
  - Parking Lot ( \$55k )
- **MISC. PROJECT COSTS: - \$30K**

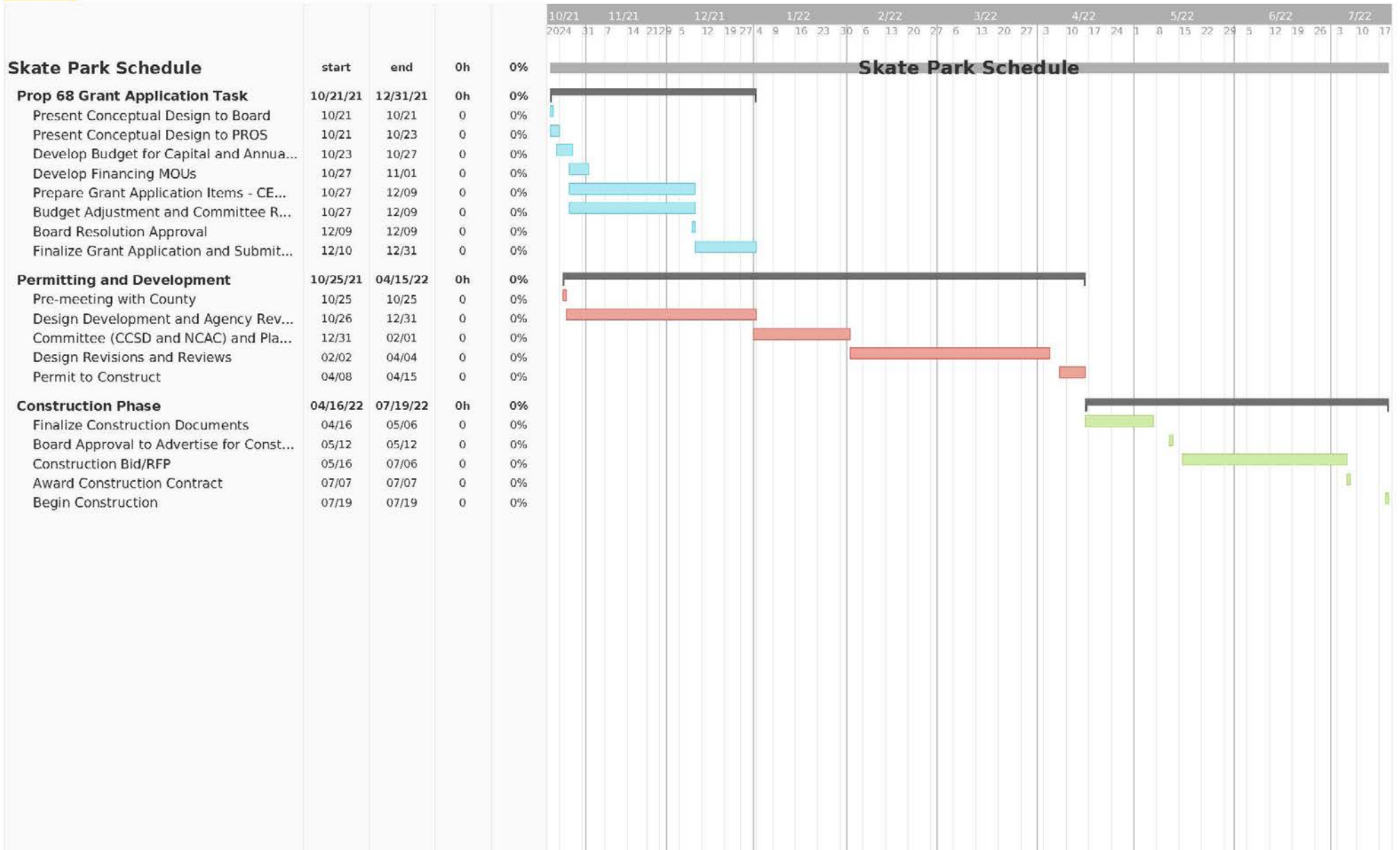


DESIGN. BUILD. COME TOGETHER.

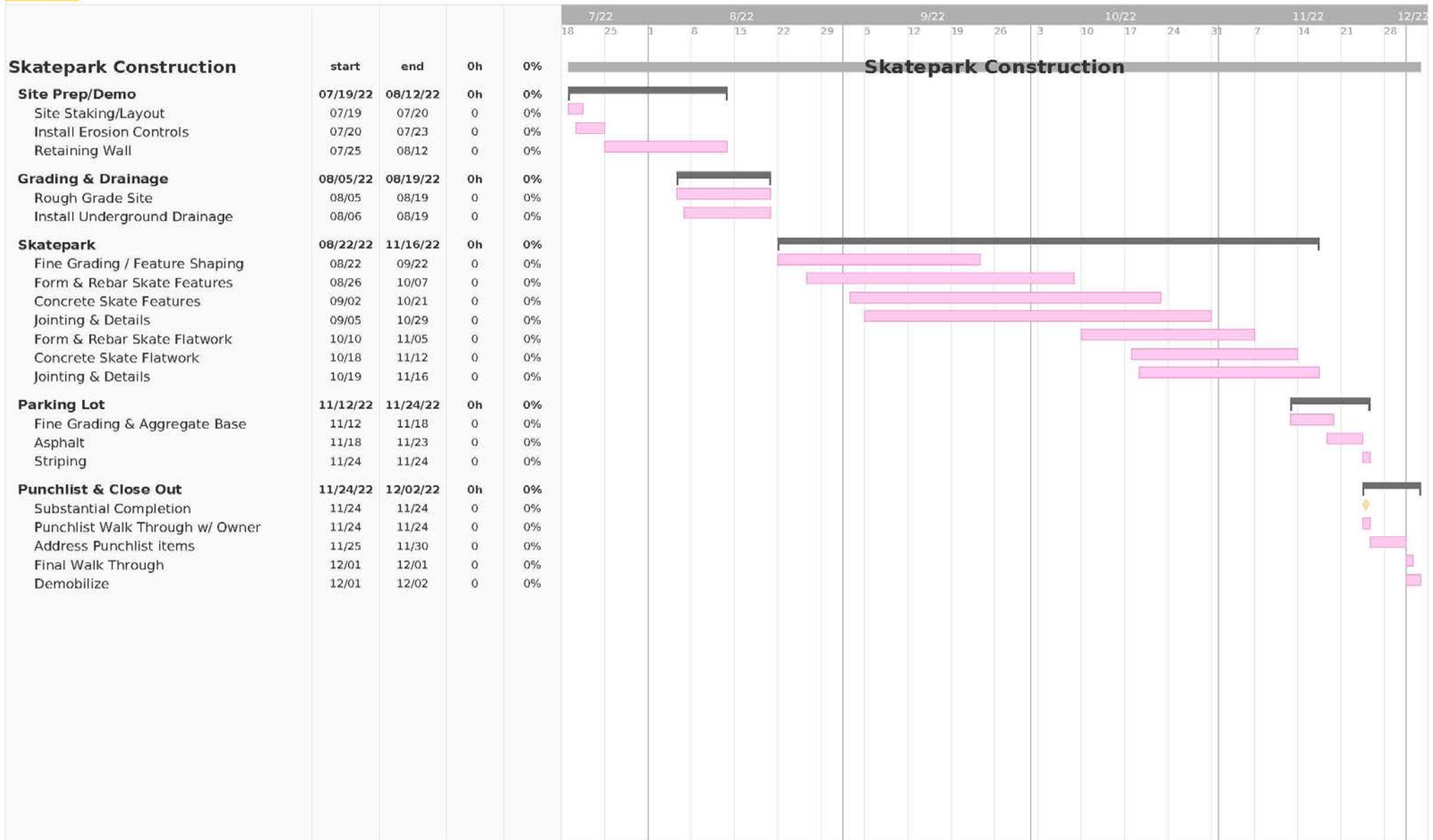
## COST ESTIMATE

CAMBRIA SKATEPARK – CAMBRIA, CA  
CAMBRIA COMMUNITY SERVICES DISTRICT  
OCTOBER 26, 2021

SCOPE OF WORK:	ESTIMATED COST:
<b>DESIGN:</b>	
CONSTRUCTION DOCUMENTS	\$30,000.00
STRUCTURAL ENGINEERING	\$7,000.00
CIVIL ENGINEERING	\$14,000.00
PERMITTING / INSPECTIONS	\$15,000.00
<b>GENERAL:</b>	
MOBILIZATION	\$30,000.00
TEMPORARY FACILITIES – FENCING, EROSION CONTROL, RESTROOM, DUMPSTER, ETC.	\$18,000.00
CONSTRUCTION STAKING	\$5,000.00
<b>SKATEPARK:</b>	
DEMOLITION	\$20,000.00
DRAINAGE SYSTEM / ROCK SWALE / INFILTRATION BASIN	\$35,000.00
EARTHWORK	\$40,000.00
STEEL COPING, EDGE PROTECTION & GRIND RAILS	\$45,000.00
CONCRETE SKATE ELEMENTS	\$112,000.00
CONCRETE FLATWORK	\$45,000.00
<b>MISCELLANEOUS SITE IMPROVEMENTS:</b>	
SPECTATOR SEATING	\$10,000.00
SHADE STRUCTURE	\$20,000.00
4" ORNAMENTAL FENCE	\$30,000.00
PARKING LOT	\$55,000.00
RETAINING WALL	\$80,000.00
SIGNAGE	\$5,000.00
LANDSCAPING	\$10,000.00
<b>MISCELLANEOUS PROJECT MANAGEMENT:</b>	
MATERIAL TESTING / TRAFFIC CONTROL	\$10,000.00
CONSTRUCTION OVERSIGHT	\$10,000.00
BONDING	\$10,000.00
<b>GRAND TOTAL:</b>	<b>\$661,000.00</b>



Schedule A: Permitting, Planning and Design Development (8 Months)



# Schedule B: Construction & Site Development (5 Months)

# MAINTENANCE

- Park maintenance is a fact of life. Almost every type of recreation facility wears with use and with environmental impact. It's always smart to anticipate that and create a budget to pay for ongoing maintenance.
  - Concrete skateparks are low maintenance
  - Graffiti and sticker removal unexpected expense
  - Crack maintenance as needed
  - Storm/Debris clean-up as needed
  - General clean-up
  - Paint touch-up as needed
- The Tony Hawk Foundation suggests the cost of maintenance for an average skatepark is \$2000 per year.
- We're estimating that a park of this size and style should cost about \$1000
- Does not include standard trash removal etc.

# CONCLUSION

- **Conclusion: Primary Findings of Feasibility**
- **At the conclusion of this Phase 1 discovery process we found no issues that would disallow for construction**
- **In some ways the site make up is optimal for construction**
- **All potential issues found can be mitigated through design solutions, or approvals by the County**
- **And though the site itself is limited in size and usable area, our current concept makes use of every readily available space, and the net result will be a fun, challenging, safe place for the youth of the community to practice their chosen sport.**

# APPENDIX DOCUMENTS

- LIST OF APPENDICES
- Appendix A - Land Use Permit (see report & attached)
- Appendix B - Grant Application Process (see report)
- Appendix C - Soils Report (attached)
- Appendix D - Schedule (attached)
- Appendix E - Infiltration Test (attached)
- Appendix F - Preliminary Grading & Drainage Plan (attached)
- Appendix G - Site Plan (attached)
- Appendix H - Civil Engineers Estimate of Cost for SWM and parking (attached)
- Appendix I - Renderings (attached)
- Appendix J - Skatepark Engineers Estimate of Cost (for full project attached)
- Appendix K - Topographical Survey (attached)
- Appendix L - Operations and Maintenance (see report)

A person is skateboarding on a ramp at sunset. The sun is low on the horizon, creating a warm, golden glow. The person is wearing a light-colored shirt and dark pants. The background features a landscape with trees and mountains. The word "DISCUSSION" is written in large, bold, yellow letters at the bottom of the image.

# DISCUSSION





## County of SLO Permitting Process

- Initial Approach
- Pre-Application Meeting
  - History
  - Presented Preliminary Design
  - County Development Plan
    - Public Works
    - Parks
    - Building
    - Planning



# Permitting/ Development

Development Plan - higher  
level of discretionary  
permitting

- Challenges/Exemptions Required
  - Bathroom
  - Parking
  - Setbacks
  - Residential proximity
- Other studies
  - Sound, Geological, Environmental, Archeological, Review Analysis



# Bathroom Options

---

## BUILD BATHROOM ON-SITE

- Require parking spaces additional reduction exemptions
- Increased cost – bathroom and utilities connections

## ALTERNATIVE BATHROOM SITES

- Possible use of County Library and/or Veterans Hall Bathroom
- May need to increase demand capacity.
- Facilities accessible during skate park hours